

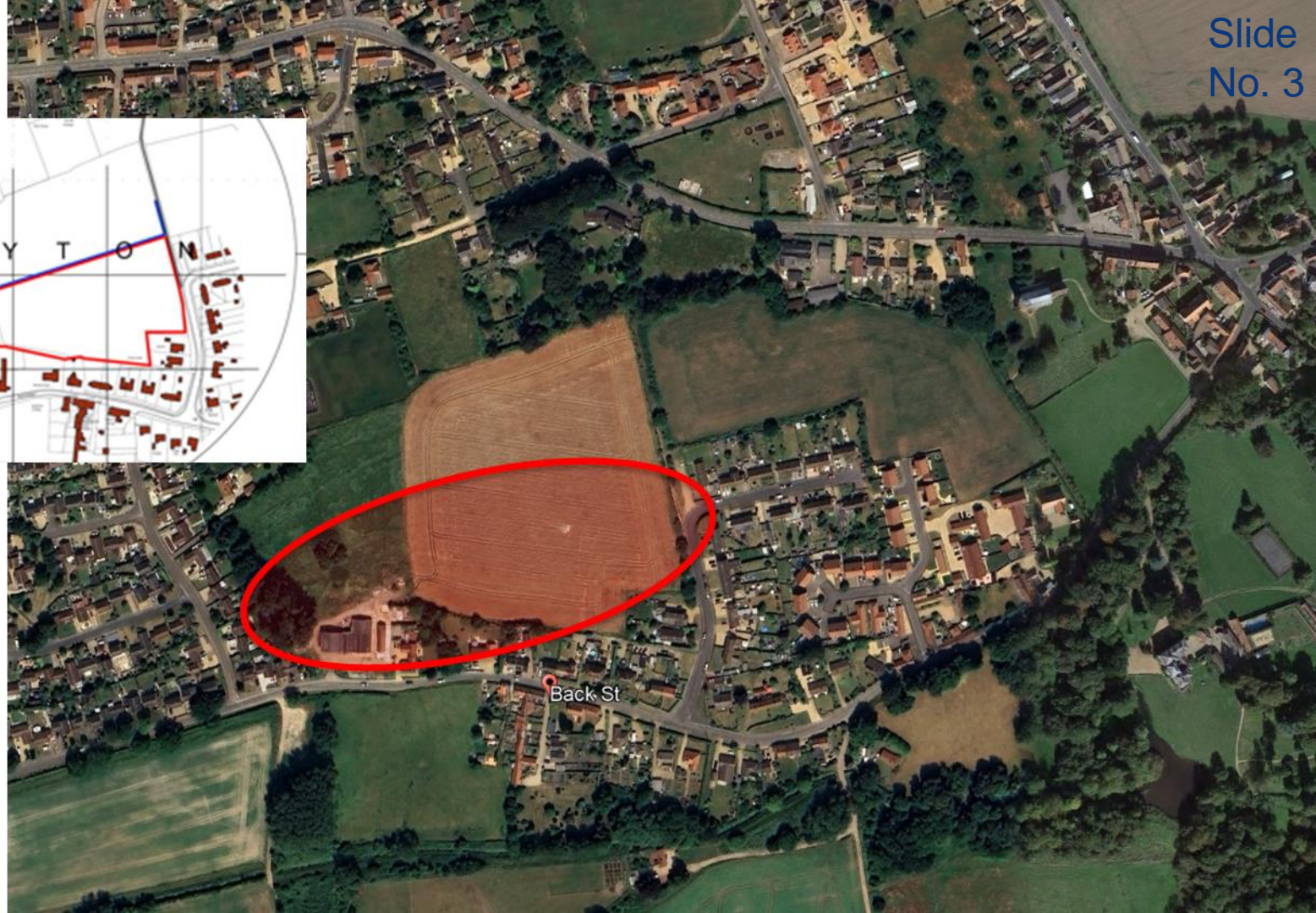
Planning Committee

7 October 2024



23/01763/FM





AREA SCHEDULE

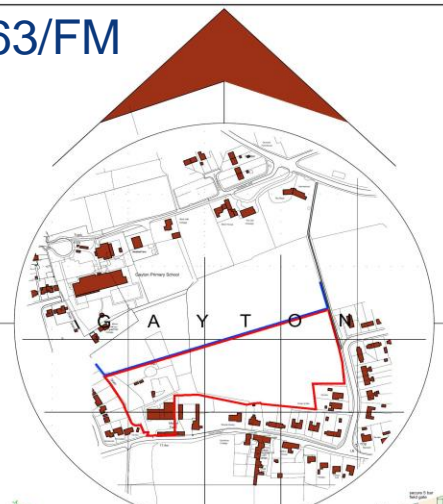
NB: Floor Areas Exclude Garage Floor Areas

Type A Ground Floor First Floor Total	4 Bed / 4 Person = 103.8m ² = 124.3m ² = 228.1m ²
Type B Ground Floor First Floor Total	4 Bed / 7 Person = 79.1m ² = 85.8m ² = 164.9m ²
Type C Ground Floor First Floor Total	3 Bed / 5 Person = 63.3m ² = 57.4m ² = 120.7m ²
Type D Ground Floor First Floor Total	3 Bed / 5 Person = 48.2m ² = 48.2m ² = 96.4m ²
Type E Ground Floor First Floor Total	3 Bed / 5 Person = 137.5m ² = 137.5m ² = 275.0m ²
Type F & F1 Ground Floor First Floor Total	2 Bed / 4 Person = 40.5m ² = 40.5m ² = 81.0m ²
Type G, G1, G2 & G3 Ground Floor First Floor Total	3 Bed / 5 Person = 33.3m ² = 51.3m ² = 84.6m ²
Type H Ground Floor First Floor Total	2 Bed / 3 Person = 75.9m ² = 75.9m ² = 151.8m ²
Type H1 Ground Floor First Floor Total	3 Bed / 5 Person = 66.3m ² = 66.3m ² = 132.6m ²

- General Notes
- The drawings shall not be scaled. Signed dimensions only to be used.
 - All dimensions are given in metres unless otherwise stated.
 - The contractor, sub-contractors and suppliers must verify all dimensions on the ground to be constructed prior to build.
 - The drawing shall be read in conjunction with all relevant approved and specialist sub-contractors drawings and specifications.
 - Any discrepancies are to be brought to the designers attention.

SITE KEY

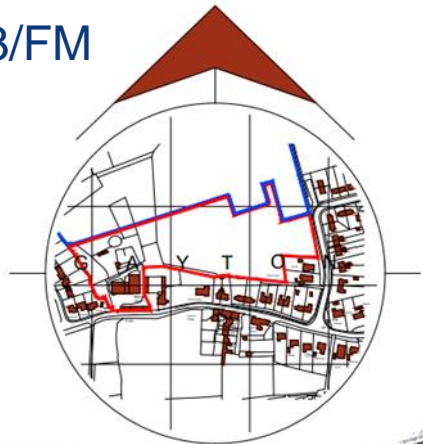
- Indicates Affordable Housing
- Indicates proposed trees
- Indicates proposed street trees
- Indicates proposed hedge
- Indicates existing trees
- Indicates proposed grass
- Indicates proposed paths and paths
- Indicates proposed permeable driveway
- Indicates 1.2m tall 2m square timber street
- Indicates existing buildings from Ordnance Survey plan
- Indicates 1.8m high brick wall
- Indicates 1.8m high stone faced brick wall
- Indicates 1.8m high stone faced brick wall
- Indicates existing footpath, generally 1.5 - 1.8m wide, shown along length. Footpath to be reinstated in situ along its length. To be reinstated in situ along its length. To be reinstated in situ along its length. To be reinstated in situ along its length.



FOR APPROVAL

SWANN EDWARDS ARCHITECTURE
 Swann Edwards Architecture Limited, Swann Edwards Architecture, One Storey, The Arcade, Gainsborough, Lincoln, NN13 4JH.
 T: 01509 400344 • info@swannedwards.co.uk • www.swannedwards.co.uk

Site Title Proposed Residential Development Back Street Gayton	May 2024	Drawn by GJT Checked by JH
Drawing Title Site and Location Plans	Sheet No. 02-1758	Drawn by A1 Checked by G
Project No. PP1001		



Location Plan
Scale: 1:2500



Site Plan
Scale: 1:500

- General Notes
- The drawing shall be read in conjunction with the specification and any other documents referred to herein.
 - All dimensions are given in millimetres unless otherwise stated.
 - The contractor shall ensure that all work is carried out in accordance with the specification and any other documents referred to herein.
 - All dimensions are given in millimetres unless otherwise stated.
 - The contractor shall ensure that all work is carried out in accordance with the specification and any other documents referred to herein.

AREA SCHEDULE

NB: Floor Areas Exclude Garage Floor Areas

Type	Ground Floor	First Floor	Total
Type A	4 Bed / 3 Person	123.00m ²	123.00m ²
Type B	4 Bed / 3 Person	123.00m ²	123.00m ²
Type C	3 Bed / 3 Person	123.00m ²	123.00m ²
Type D	2 Bed / 3 Person	123.00m ²	123.00m ²
Type E	3 Bed / 3 Person	123.00m ²	123.00m ²
Type F & F1	2 Bed / 4 Person	123.00m ²	123.00m ²
Type G, G1, G1 & G11	3 Bed / 3 Person	123.00m ²	123.00m ²
Type H	2 Bed / 3 Person	123.00m ²	123.00m ²

SITE KEY

- Orange box: Existing residential
- Blue hatched box: Existing area of low level
- Light blue hatched box: Existing area of medium level
- Red hatched box: Existing proposed separate outbuildings with existing outbuildings with existing
- Pink hatched box: Existing proposed separate outbuildings with existing outbuildings with existing
- Blue dot: Phase 1
- Yellow dot: Phase 2
- Red dot: Phase 3
- Green dot: Phase 4

Proposals

- Field Access Road, LAP retained
- Sheds added and relocated

FOR COMMENT



SWANN EDWARDS ARCHITECTURE
11 FIVE HEATHS AVENUE, WEST NORWICH, NORWICH, NR1 3JH

On Site	Proposed Development	Back Street	October 2019	10/10/19
✓	✓	✓	✓	✓
✓	✓	✓	✓	✓
✓	✓	✓	✓	✓
✓	✓	✓	✓	✓



General Notes

- The drawings shall not be scaled. Squared dimensions only to be used.
- The contractor shall ensure that all other services are protected.
- The contractor shall ensure that all other services are protected.
- The drawings are to be read in conjunction with all relevant engineering and specialist sub-contractors drawings and specifications.
- The drawings are to be brought to the attention of the design team.

SITE KEY

- Indicates Affordable Housing
- Indicates proposed trees
- Indicates proposed street trees
- Indicates proposed hedge
- Indicates existing trees
- Indicates proposed grass
- Indicates proposed paths and paths
- Indicates proposed permeable driveway
- Indicates 1.8m fire escape timber shed
- Indicates existing buildings from Ordnance Survey plan
- Indicates Max. 1.8m high brick wall
- Indicates 1.8m high stone kerbed fence with gates, raised otherwise
- Faintly indicates existing kerbside proposals 1.0 - 1.5m height to be removed or walls along its length to be reduced in height in accordance with engineering design. See supporting photographs and/or inspection.

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

SWANN EDWARDS ARCHITECTURE
100, The Quadrant, Colchester, Essex, CO1 1JL
Tel: 0206 206 1100
www.swannedwards.co.uk

Prepared By	SW	Drawn By	SW
Checked By	SW	Checked By	SW
Approved By	SW	Approved By	SW
Date	May 2024	Date	May 2024
Project No.	23-1193	Client Ref.	23-1193
Site No.	PP 100-1	Version	G

Proposed Residential Development
Planning Drawing
Site and Location Plan



Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



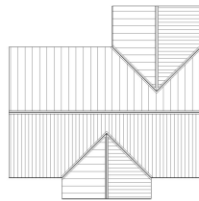
Rear Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

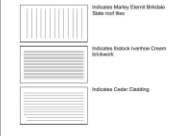
General Notes
1. No drawings shall not be used. Squared dimensions only to be used.
2. The contractor shall ensure that their construction complies with:
3. The contractor shall ensure that their construction complies with all requirements of the City of West Norfolk.
4. This drawing is to be used in conjunction with all relevant regulations and standards and contractors shall ensure that they comply with all requirements of the City of West Norfolk.

AREA SCHEDULE

NB: Floor Areas Exclude Garage Floor Areas

Type	4 Bed / 5 Person	4 Bed / 7 Person	3 Bed / 5 Person	3 Bed / 5 Person	3 Bed / 5 Person	3 Bed / 5 Person	2 Bed / 4 Person	3 Bed / 5 Person	3 Bed / 5 Person
Type A:	Ground Floor = 103.8m ²	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 48.2m ²	Ground Floor = 137.8m ²	Ground Floor = 137.8m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²
First Floor	= 132.3m ²	= 76.6m ²	= 76.6m ²	= 47.4m ²	= 101.2m ²	= 101.2m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²
Total	= 236.1m ²	= 150.0m ²	= 150.0m ²	= 95.6m ²	= 239.0m ²	= 239.0m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²
Type B:	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 48.2m ²	Ground Floor = 137.8m ²	Ground Floor = 137.8m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²
First Floor	= 76.6m ²	= 76.6m ²	= 76.6m ²	= 47.4m ²	= 101.2m ²	= 101.2m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²
Total	= 150.0m ²	= 150.0m ²	= 150.0m ²	= 95.6m ²	= 239.0m ²	= 239.0m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²
Type C:	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 48.2m ²	Ground Floor = 137.8m ²	Ground Floor = 137.8m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²
First Floor	= 76.6m ²	= 76.6m ²	= 76.6m ²	= 47.4m ²	= 101.2m ²	= 101.2m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²
Total	= 150.0m ²	= 150.0m ²	= 150.0m ²	= 95.6m ²	= 239.0m ²	= 239.0m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²
Type D:	Ground Floor = 48.2m ²	Ground Floor = 48.2m ²	Ground Floor = 48.2m ²	Ground Floor = 48.2m ²	Ground Floor = 137.8m ²	Ground Floor = 137.8m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²
First Floor	= 47.4m ²	= 47.4m ²	= 47.4m ²	= 47.4m ²	= 101.2m ²	= 101.2m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²
Total	= 95.6m ²	= 95.6m ²	= 95.6m ²	= 95.6m ²	= 239.0m ²	= 239.0m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²
Type E:	Ground Floor = 137.8m ²	Ground Floor = 137.8m ²	Ground Floor = 137.8m ²	Ground Floor = 137.8m ²	Ground Floor = 137.8m ²	Ground Floor = 137.8m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²
First Floor	= 101.2m ²	= 101.2m ²	= 101.2m ²	= 101.2m ²	= 101.2m ²	= 101.2m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²
Total	= 239.0m ²	= 239.0m ²	= 239.0m ²	= 239.0m ²	= 239.0m ²	= 239.0m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²
Type F & Ft:	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²
First Floor	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²
Total	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²
Type G, G1, G2 & G3:	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²
First Floor	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²
Total	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²
Type H:	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²	Ground Floor = 73.3m ²
First Floor	= 76.6m ²	= 76.6m ²	= 76.6m ²	= 76.6m ²	= 76.6m ²	= 76.6m ²	= 76.6m ²	= 76.6m ²	= 76.6m ²
Total	= 150.0m ²	= 150.0m ²	= 150.0m ²	= 150.0m ²	= 150.0m ²	= 150.0m ²	= 150.0m ²	= 150.0m ²	= 150.0m ²
Type H1:	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²	Ground Floor = 65.9m ²
First Floor	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²	= 40.5m ²
Total	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²	= 106.4m ²

ELEVATION KEY



Windows and doors: White UPVC Casement
Rainwater goods: Black half round gutters and black round downpipes

FOR APPROVAL



Swann Edwards Architecture (Limited) Swann Edwards Architecture
Black Stars Farm Road, Gwynn, Westport, Cambs, PE13 6AA
© Swann Edwards Architecture 2024

Prep	Drawn by
2024	07
May	07
2024	20
Drawn by	Drawn by
07-1788	A1
House Type H	House
Elevations and Plans	JK

House Type H1



Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



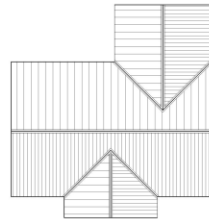
Rear Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

General Notes
1. No drawings shall be scaled. Squared dimensions only to be used.
2. The drawings shall refer to their dimensioned notes.
3. The contractor shall coordinate and coordinate with all relevant engineers and specialist subcontractors drawing and specifications.
4. This drawing is to be used in conjunction with all relevant engineers and specialist subcontractors drawing and specifications.
5. Any discrepancies are to be brought to the designers attention.

AREA SCHEDULE

NB: Floor Areas Exclude Garage Floor Areas

Type A:	4 Bed 8 Person
Ground Floor	= 130.0m ²
First Floor	= 226.3m ²
Total	= 356.3m²
Type B:	4 Bed 7 Person
Ground Floor	= 73.4m ²
First Floor	= 79.0m ²
Total	= 152.4m²
Type C:	3 Bed 5 Person
Ground Floor	= 79.3m ²
First Floor	= 97.4m ²
Total	= 176.7m²
Type D:	3 Bed 5 Person
Ground Floor	= 69.2m ²
First Floor	= 69.2m ²
Total	= 138.4m²
Type E:	3 Bed 5 Person
Ground Floor	= 137.6m ²
Total	= 137.6m²
Type F & FT:	2 Bed 4 Person
Ground Floor	= 40.0m ²
First Floor	= 40.0m ²
Total	= 80.0m²
Type G, G1, G1 & G1:	3 Bed 5 Person
Ground Floor	= 61.3m ²
First Floor	= 61.3m ²
Total	= 122.6m²
Type H:	2 Bed 3 Person
Ground Floor	= 73.8m ²
Total	= 73.8m²
Type H1:	3 Bed 5 Person
Ground Floor	= 66.3m ²
Total	= 66.3m²

ELEVATION KEY



Windows and Doors - White UPVC Casement
Rafterline gables - Black half round gutters and black round downpipes

FOR APPROVAL



Swann Edwards Architecture (UK) Ltd, Suite 02/03, 100, Black Star, Park Road, Clifton, Bristol, BS2 1AB
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Prepared: 2024	Drawn: 2024
Checked: 2024	Approved: 2024

House Type A



Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



Rear Elevation
Scale: 1:100



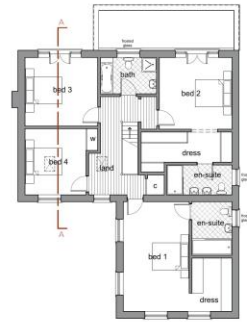
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Scale: 1:100



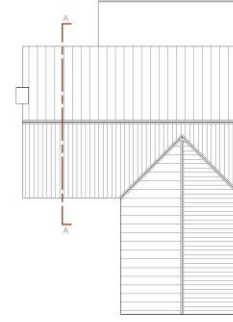
Section A-A
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

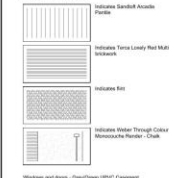
General Notes
1. The drawings shall not be used. Signed dimensions only to be used.
2. The dimensions shall conform to the British Standard BS 4800.
3. The dimensions shall conform to the British Standard BS 4800.
4. The drawings shall be used in conjunction with all relevant regulations and specified sub-contractors drawings and specifications.
5. The drawings shall be used in conjunction with all relevant regulations and specified sub-contractors drawings and specifications.

AREA SCHEDULE

Net Floor Areas Exclude Garage Floor Areas

Type A	4 Bed / 19 Person
Ground Floor	= 152.8sqm
First Floor	= 225.2sqm
Total	= 378.0sqm
Type B	4 Bed / 7 Person
Ground Floor	= 78.5sqm
First Floor	= 78.5sqm
Total	= 157.0sqm
Type C	3 Bed / 5 Person
Ground Floor	= 79.3sqm
First Floor	= 127.4sqm
Total	= 206.7sqm
Type D	3 Bed / 5 Person
Ground Floor	= 68.0sqm
First Floor	= 68.0sqm
Total	= 136.0sqm
Type E	3 Bed / 5 Person
Ground Floor	= 137.8sqm
Total	= 137.8sqm
Type F & FI	2 Bed / 4 Person
Ground Floor	= 43.5sqm
First Floor	= 43.5sqm
Total	= 87.0sqm
Type G, GI, GII & GIII	3 Bed / 5 Person
Ground Floor	= 91.3sqm
First Floor	= 111.3sqm
Total	= 202.6sqm
Type H	2 Bed / 3 Person
Ground Floor	= 75.8sqm
Total	= 75.8sqm

ELEVATION KEY



Windows and doors - Grey/Blue (UPVC) Casements
Rafterwork gables - Black Half round gutters and black round downpipes

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

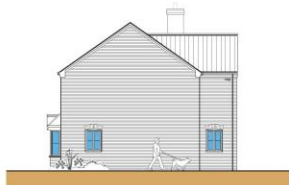
Swann Edwards Architects, 10000, South, Elmwood, Westborough, Black Barn, The Road, Gyles, Norfolk, Norfolk, NR13 6AA
A more website is: www.swannedwards.co.uk

Prepared	June 2022	Drawn by	GE
Checked by	GE	Scale	A1
Drawn by	GE	Sheet No.	23/01763
Checked by	GE	Project	House Type A
Drawn by	GE	Revision	01
Checked by	GE	Revision	01

House Type B



Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



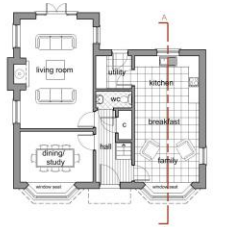
Rear Elevation
Scale: 1:100



Front Elevation
Scale: 1:100



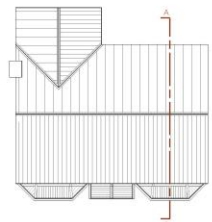
Section A-A
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



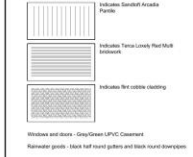
Roof Plan
Scale: 1:100

General Notes
1. The drawings and text are to be used. Figure dimensions only to be used.
2. The dimensions and notes on these drawings should be used.
3. The construction and materials and systems must comply with the requirements of the code in the jurisdiction of the work.
4. The drawings are to be read in conjunction with all relevant regulations and standards and specifications.
5. The drawings are to be brought to the attention of the relevant authority.

AREA SCHEDULE

Net Floor Areas Exclude Garage Floor Areas	
Type A	4 Bed / 8 Person
Ground Floor	= 152.8sqm
First Floor	= 25.3sqm
Total	= 228.1sqm
Type B	4 Bed / 7 Person
Ground Floor	= 75.1sqm
First Floor	= 75.6sqm
Total	= 150.7sqm
Type C	3 Bed / 5 Person
Ground Floor	= 79.3sqm
First Floor	= 12.4sqm
Total	= 136.7sqm
Type D	3 Bed / 5 Person
Ground Floor	= 65.0sqm
First Floor	= 65.2sqm
Total	= 95.2sqm
Type E	3 Bed / 5 Person
Ground Floor	= 137.5sqm
Total	= 137.5sqm
Type F & FI	2 Bed / 4 Person
Ground Floor	= 45.1sqm
First Floor	= 45.1sqm
Total	= 90.2sqm
Type G, GI, GI & GI:	3 Bed / 5 Person
Ground Floor	= 91.3sqm
First Floor	= 11.1sqm
Total	= 102.4sqm
Type H	2 Bed / 3 Person
Ground Floor	= 75.8sqm
Total	= 75.8sqm

ELEVATION KEY



FOR APPROVAL



Prepared: Development Back Street, Guyana	Date: June 2022	Drawn by: GE
Checked by: GE	Drawn by: GE	Checked by: GE
Project No: 23-1763	Drawn by: GE	Checked by: GE
Revision: 001	Drawn by: GE	Checked by: GE



Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



Section A-A
Scale: 1:100



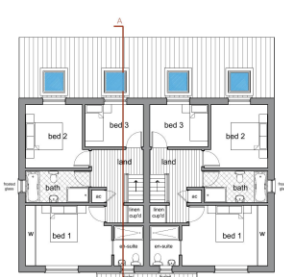
Rear Elevation
Scale: 1:100



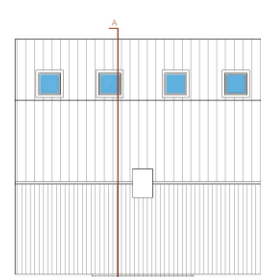
Side Elevation
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100

General Notes
1. The drawings shall not be used, signed dimensions only to be used.
2. The drawings shall be drawn in their original metric units.
3. The contractor, sub-contractor and supplier must verify all dimensions on site prior to the commencement of any work.
4. The drawings to be read in conjunction with all relevant engineering and specialist sub-contractor drawings and specifications.
5. Any dimensions not to be brought to the attention of the Designer.

AREA SCHEDULE

Net Floor Areas Exclude Garage Floor Areas	
Type A	4 Bed / 8 Person
Ground Floor	= 132.8sqm
First Floor	= 25.2sqm
Total	= 228.7sqm
Type B	4 Bed / 7 Person
Ground Floor	= 79.3sqm
First Floor	= 79.3sqm
Total	= 158.7sqm
Type C	3 Bed / 5 Person
Ground Floor	= 79.3sqm
First Floor	= 12.4sqm
Total	= 136.7sqm
Type D	3 Bed / 5 Person
Ground Floor	= 68.2sqm
First Floor	= 68.2sqm
Total	= 68.2sqm
Type E	3 Bed / 5 Person
Ground Floor	= 137.8sqm
Total	= 137.8sqm
Type F & Ft	2 Bed / 4 Person
Ground Floor	= 43.5sqm
First Floor	= 43.5sqm
Total	= 87.0sqm
Type G, Gt, Gt & Gt:	3 Bed / 5 Person
Ground Floor	= 81.3sqm
First Floor	= 11.3sqm
Total	= 132.8sqm
Type H	2 Bed / 3 Person
Ground Floor	= 75.8sqm
Total	= 75.8sqm

ELEVATION KEY



Windows and doors - Shopfront (SPIC) Glazing
Rainwater goods - Made half round gutters and black round downpipes

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE
Brent, Greater Manchester, United Kingdom
Black Burn, Gyles, Wether, Cumbria, NE13 6AA
+44 (0)1924 401111 or info@swannedwards.co.uk

Prepared: SW	Date: June 2022	Drawn by: JB
Checked by: GE		
Project No: 23-1188	Revision: A1	Sheet No: 10/10
Drawing Title: Planning Drawing House Type C Elevations and Plans	Client: 23/01763	



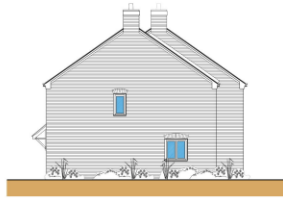
Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



Rear Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



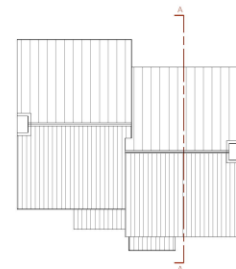
Section A-A
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100

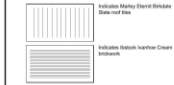
General Notes
1. The drawings shall not be used, signed dimensions only to be used.
2. The drawings are shown in their correct dimensional order.
3. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
4. The drawings are to be read in conjunction with all relevant engineering and specialist sub-contractors drawings and specifications.
5. No dimensions are to be brought to the attention of the architect.

AREA SCHEDULE

Net Floor Areas Exclude Garage Floor Areas

Type A	4 Bed / 8 Person
Ground Floor	= 132.8sqm
First Floor	= 228.3sqm
Total	= 361.1sqm
Type B	4 Bed / 7 Person
Ground Floor	= 79.1sqm
First Floor	= 79.8sqm
Total	= 158.9sqm
Type C	3 Bed / 5 Person
Ground Floor	= 79.3sqm
First Floor	= 12.4sqm
Total	= 136.7sqm
Type D	3 Bed / 5 Person
Ground Floor	= 68.0sqm
First Floor	= 68.0sqm
Total	= 68.0sqm
Type E	3 Bed / 5 Person
Ground Floor	= 137.8sqm
Total	= 137.8sqm
Type F & Ft	2 Bed / 4 Person
Ground Floor	= 45.0sqm
First Floor	= 45.0sqm
Total	= 45.0sqm
Type G, Gt, Gt & Gt:	3 Bed / 5 Person
Ground Floor	= 81.3sqm
First Floor	= 12.1sqm
Total	= 132.8sqm
Type H	2 Bed / 3 Person
Ground Floor	= 75.8sqm
Total	= 75.8sqm

ELEVATION KEY



FOR APPROVAL

SWANN EDWARDS
ARCHITECTURE

Swann Edwards Architecture, 10000, Suite 1000, 10000, Black Burn, The Road, Guyana, Guyana, Guyana, GE13 6AA
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Prepared: June 2022	Drawn by: JB
Checked by: GE	
Project No: 23-1158	Sheet No: A1
Drawing Title: House Type D Elevations and Plans	Scale: 1:100

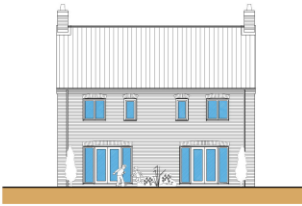
House Type F1



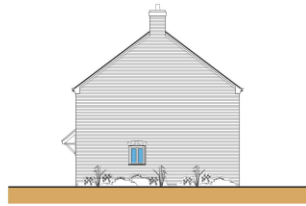
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Scale: 1:100



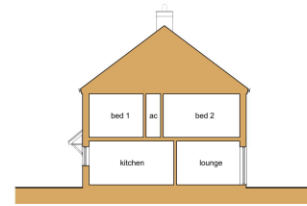
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Scale: 1:100



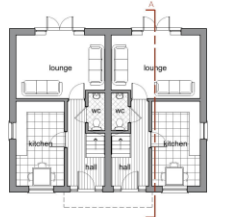
Rear Elevation
Scale: 1:100



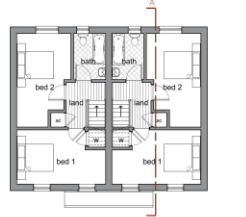
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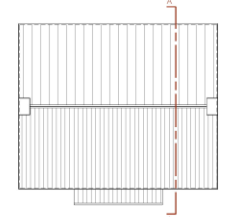
Section A-A
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

- General Notes
1. This drawing shall not be used. Squared dimensions only to be used.
 2. The drawings shall refer to their dimensioned areas.
 3. The contractor shall coordinate and support most work at elevations at the price in the appointment of the work.
 4. This drawing is to be used in conjunction with all relevant regulations and standard sub-contractor drawings and specifications.
 5. Any dimensions not to be shown to the designer's attention.

AREA SCHEDULE

Net Floor Areas Exclude Garage Floor Areas

Type A	4 Bed / 10 Persons
Ground Floor	= 152.8sqm
First Floor	= 228.2sqm
Total	= 381.0sqm
Type B	4 Bed / 7 Persons
Ground Floor	= 78.2sqm
First Floor	= 78.2sqm
Total	= 156.4sqm
Type C	3 Bed / 5 Persons
Ground Floor	= 78.2sqm
First Floor	= 127.4sqm
Total	= 205.6sqm
Type D	3 Bed / 5 Persons
Ground Floor	= 68.2sqm
First Floor	= 68.2sqm
Total	= 136.4sqm
Type E	3 Bed / 5 Persons
Ground Floor	= 117.8sqm
Total	= 117.8sqm
Type F & FT	2 Bed / 4 Persons
Ground Floor	= 68.2sqm
First Floor	= 68.2sqm
Total	= 136.4sqm
Type G, GT, GB & GT1	3 Bed / 5 Persons
Ground Floor	= 51.2sqm
First Floor	= 51.2sqm
Total	= 102.4sqm
Type H	2 Bed / 3 Persons
Ground Floor	= 78.2sqm
Total	= 78.2sqm

ELEVATION KEY

- Indicates Masonry Element Bricks
- Indicates Brickwork
- Indicates Masonry Insulation Cream Brickwork
- Windows and doors - Grey UPVC Casement
- Roofline gables - Stone half round gutters and black round downpipes

FOR APPROVAL

SWANN
EDWARDS
ARCHITECTURE

Swann Edwards Architecture Limited, Suite 10, 100, Colchester Road, King's Lynn, Norfolk, PE30 1JL, UK. Tel: 01553 810000. Email: info@swannedwards.co.uk

Proposed Development	Date	Drawn by
Back Street, Gt Lynn	June 2022	GE
Planning Drawing	23-1763	AK
House Type F1	23-1763	AK
Elevations and Plans	23-1763	AK

House Type Ft



Front Elevation
Scale: 1:100



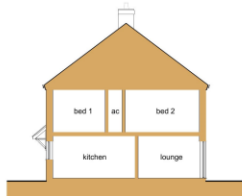
Side Elevation
Scale: 1:100



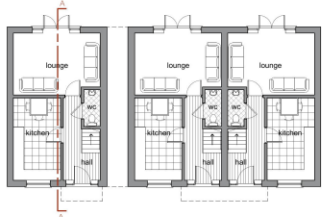
Rear Elevation
Scale: 1:100



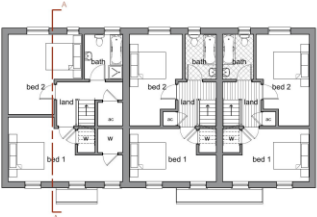
Side Elevation
Scale: 1:100



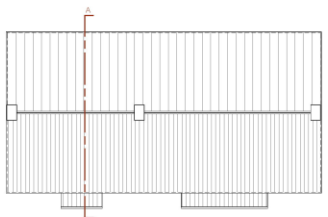
Section A-A
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

General Notes
1. This drawing shall not be copied, figured dimensions only to be used.
2. All dimensions are shown in millimetres unless stated otherwise.
3. The contractor shall coordinate and support their work with all other trades on the ground for the commencement of any work, services and materials not mentioned, electrical, and mechanical.
4. Any dimensions are to be shown in the drawings unless stated otherwise.

AREA SCHEDULE

NB: Floor Areas Exclude Garage Floor Areas

Type A	4 Bed / 8 Person
Ground Floor	= 103.8sqm
First Floor	= 124.3sqm
Total	= 228.1sqm
Type B	4 Bed / 7 Person
Ground Floor	= 78.1sqm
First Floor	= 78.0sqm
Total	= 156.1sqm
Type C	3 Bed / 6 Person
Ground Floor	= 75.5sqm
First Floor	= 57.4sqm
Total	= 132.9sqm
Type D	3 Bed / 5 Person
Ground Floor	= 48.2sqm
First Floor	= 68.0sqm
Total	= 116.2sqm
Type E	3 Bed / 5 Person
Ground Floor	= 137.8sqm
Total	= 137.8sqm
Type F & Ft	2 Bed / 4 Person
Ground Floor	= 40.5sqm
First Floor	= 40.9sqm
Total	= 81.4sqm
Type G, G1, G1 & G1:	3 Bed / 5 Person
Ground Floor	= 51.0sqm
First Floor	= 81.1sqm
Total	= 132.1sqm
Type H	2 Bed / 3 Person
Ground Floor	= 75.8sqm
Total	= 75.8sqm

ELEVATION KEY

- Insulation (Random Brickwork)
- Porcelain Tiles
- Insulation (Terra Lively Red Multi-Blockwork)
- Insulation (Brick)
- Windows and Doors (Grey/Green UPVC Casement)
- Handrails (Black Half Round Gullies and Black Round Downpipes)

FOR APPROVAL

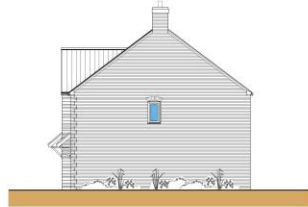
SWANN EDWARDS ARCHITECTURE
 Swan Edwards Architecture Limited, Swan Edwards Architecture, Swan Lane, New Street, Gillingham, Kent, ME13 2JG
 01524 40324 • info@swannedwards.co.uk • www.swannedwards.co.uk

Site Title	23/01763/FM	Drawn by	AE
Proposed Development	Back Street, Gillingham	Checked by	GE
Planning Drawing	House Type Ft	Drawn Date	15/06/2022
Elevations and Plans	REF 1110	Drawn No.	SE-1758
		Drawn By	AE
		Checked By	B

House Type Gt



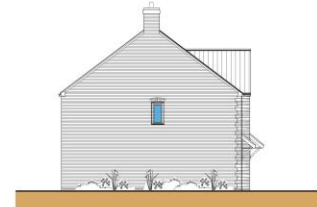
Front Elevation
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Side Elevation
Scale: 1:100



Rear Elevation
Scale: 1:100



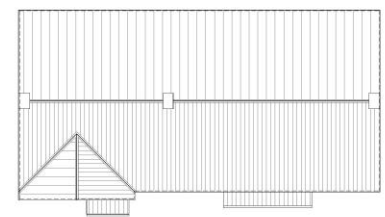
Side Elevation
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

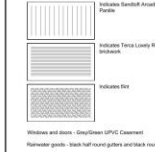
General Notes
1. No dimensions shall be used, figured dimensions only to be used
2. The contractor shall verify all floor dimensions before
3. The contractor shall commission and maintain most parts of
4. This drawing is to be used in conjunction with all relevant regulations
5. All dimensions are to be straight to the face unless otherwise stated

AREA SCHEDULE

Nil Floor Areas Exclude Garage Floor Areas

Type	Bed	Person
Type A	4 Bed	18 Person
Ground Floor		+ 180.0sqm
First Floor		+ 228.0sqm
Total		+ 228.0sqm
Type B	4 Bed	7 Person
Ground Floor		+ 75.0sqm
First Floor		+ 158.0sqm
Total		+ 158.0sqm
Type C	3 Bed	5 Person
Ground Floor		+ 79.0sqm
First Floor		+ 127.0sqm
Total		+ 136.0sqm
Type D	3 Bed	5 Person
Ground Floor		+ 65.0sqm
First Floor		+ 88.0sqm
Total		+ 88.0sqm
Type E	3 Bed	5 Person
Ground Floor		+ 117.0sqm
Total		+ 117.0sqm
Type F & Ft	2 Bed	4 Person
Ground Floor		+ 45.0sqm
First Floor		+ 45.0sqm
Total		+ 90.0sqm
Type G, G1, G2 & G3	3 Bed	5 Person
Ground Floor		+ 51.0sqm
First Floor		+ 51.0sqm
Total		+ 102.0sqm
Type H	2 Bed	3 Person
Ground Floor		+ 75.0sqm
Total		+ 75.0sqm

ELEVATION KEY



Windows and doors - Composite UPVC Casement
Rainwater goods - Brass half round gutters and black round downpipes

Revisions

A	Date	Description
1	10/01/2024	Passageway added

FOR APPROVAL
SWANN EDWARDS
ARCHITECTURE

Swann Edwards Architecture Limited, Suite 08-0606, 8/8 South Street, King's Lynn, Norfolk, PE30 1AA
t 01553 619999 f 01553 619999 e info@swannedwards.co.uk w www.swannedwards.co.uk

10/01/2024
Proposed Development: Back Street, Gt Lynn

Drawn by: J.E.	Check by: G.E.
Issue No: 01-1763	Issue Date: 01/11/24
Project No: 20240111	Project Name: House Type Gt Elevations and Plans



General Notes

- The drawings shall not be scaled. Squared dimensions only to be used.
- The contractor shall ensure that all other services are protected.
- The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
- This drawing is to be read in conjunction with all relevant engineering and specialist sub-contractors drawings and specifications.
- The dimensions shall be as brought to the design's attention.

SITE KEY

- Indicates Affordable Housing
- Indicates proposed trees
- Indicates proposed street trees
- Indicates proposed hedge
- Indicates existing trees
- Indicates proposed grass
- Indicates proposed paths and paths
- Indicates proposed permeable driveway
- Indicates 1.8m fire resistant timber shed
- Indicates existing buildings from Ordnance Survey plan
- Indicates Max. 1.8m high brick wall
- Indicates 1.8m high stone kerbed area with grass, raised otherwise
- Notes indicate existing kerb height, generally 150 - 175mm, to be removed or built along its length unless by retained wall engineer design. See supporting photographs and/or inspection.

FOR APPROVAL

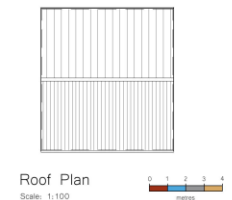
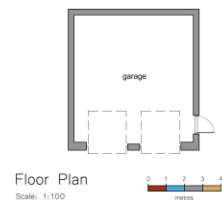
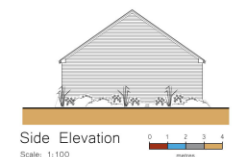
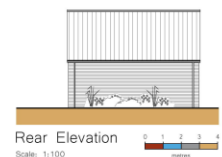
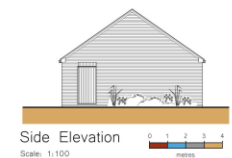
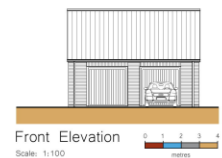
SWANN EDWARDS ARCHITECTURE

SWANN EDWARDS ARCHITECTURE, 100, South Street, Blackdown, Exeter, Devon, EX4 3DQ, UK
Tel: 01392 266111 | Email: info@swannedwards.co.uk | www.swannedwards.co.uk

Prepared: Residential Development	Date: May 2024	Drawn by: GJ
Checked by: GJ	Checked by: GJ	Checked by: GJ
Planning Drawing	Drawing No: 23-1763	Client Ref: A11
Site and Location Plans	Proj No: 23-1763-1	Version: G

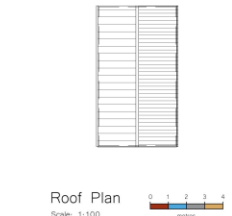
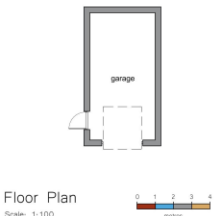
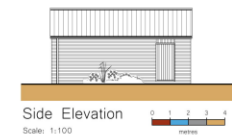
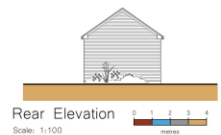
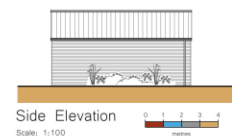
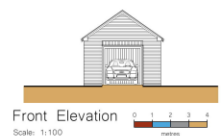
Double Garage

Materials to match house associated with



Single Garage

Materials to match house associated with

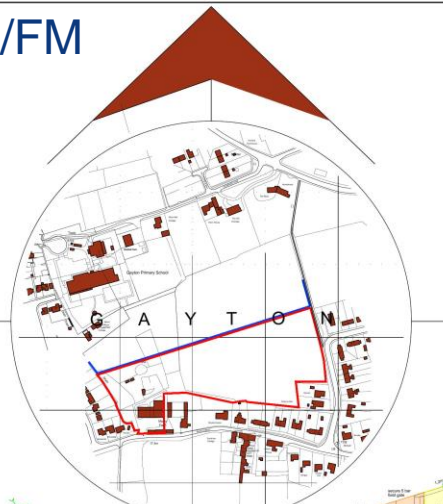


General Notes
1. The drawings shall not be used. Figure dimensions only to be used.
2. All dimensions are shown in feet unless otherwise stated.
3. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
4. The drawing is to be used in conjunction with all relevant engineering and specialist sub-contractors drawings and specifications.
5. Any discrepancies are to be brought to the Designer's attention.

FOR COMMENT



23/01763/FM Proposed Development Back Street, Gayton	Date June 2022	Drawn by JB
Drawing Title Garage Types Elevations and Plans	App No. 23-1158	Check by GE
Date 23/1/2023	App No. 23-1158	Drawn by All



AREA SCHEDULE

NB: Floor Areas Exclude Garage Floor Areas

Type A Ground Floor First Floor Total	4 Bed / 8 Person = 103.0sq = 124.3sq = 227.3sq
Type B Ground Floor First Floor Total	4 Bed / 7 Person = 79.1sq = 75.0sq = 154.1sq
Type C Ground Floor First Floor Total	3 Bed / 6 Person = 79.1sq = 72.1sq = 151.2sq
Type D Ground Floor First Floor Total	3 Bed / 5 Person = 68.3sq = 68.2sq = 136.5sq
Type E Ground Floor First Floor Total	3 Bed / 5 Person = 137.6sq = 137.6sq
Type F & Pt Ground Floor First Floor Total	3 Bed / 4 Person = 80.0sq = 80.0sq = 160.0sq
Type G, G1, G1 & G11 Ground Floor First Floor Total	3 Bed / 5 Person = 61.2sq = 61.2sq = 122.4sq
Type H Ground Floor Total	2 Bed / 3 Person = 75.9sq = 75.9sq
Type H1 Ground Floor Total	3 Bed / 5 Person = 88.3sq = 88.3sq



General Notes

1. No drawings shall not be issued. Signed dimensions only to be used.
2. All dimensions are in millimetres unless otherwise stated.
3. All construction, materials and finishes must comply with appropriate standards and specifications of the work.
4. This drawing is to be read in conjunction with all relevant plans and detailed specifications covering any developments.
5. The drawings are to be brought to the design's attention.

KEY

- Orange: indicates areas maintained by management company
- Yellow: indicates restricted car/park

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

Project: Residential Development
 Back Street
 CAYTON

Prep	May 2024	Drawn to: CE
Check	May 2024	Checked by: CE
Issue	May 2024	Issue No: A11
Rev	2024-05-10	Revision: 0

Drawing Title: Planning Drawing
 Site Plan



View southwest from east of site



View southwest from east of site





View west from east of site



View northwest from east of site



View northwest from east of site





View northwards along PROW from east of site



View northeast from east of site





View southeast from east of site



View east along Back Street from opposite site entrance







View north from Back Street of site entrance



View north from Back Street of site entrance





View west from Back Street



24/00280/RM





PROPOSED SITE PLAN (Scale 1:200 when printed at A1)

KEY TO BLOCK PLAN:

- Proposed Dwelling
- Proposed Parking / Turning Area
- Proposed Access
- Proposed Lawn Area
- Proposed Rear Patio
- Proposed Pool Area
- Proposed Planter
- Proposed roadside bank with existing hedge to be retained, existing Hedge over front wall to be out back to improve vision splay following response from Highways Officer during the outline stage.)
- Existing access
Proposed vision splay: 5.70m x 2.4m x 25.0m
Proposed retained vision splay: 7.00m x 2.0m x 30.4m
Both vision splays measured to the corner of single track road.
- Pool building set behind garden wall.

General site levels to remain as existing. Proposed levels shown on plan.

- Existing trees to be retained.
- Proposed hedge planting. To use native hedge planting suggest within 'Ecology Report including Supporting Evidence for Appropriate Assessment'
- Existing hedge planting.
- Proposed parking/turning area and patio area.
- Proposed mown lawn areas.
- Proposed green roofs and areas of planting.
- RPA (Root protection area) refer to tree report.

Proposed hedge planting. To use native hedge planting suggest within 'Ecology Report including Supporting Evidence for Appropriate Assessment'

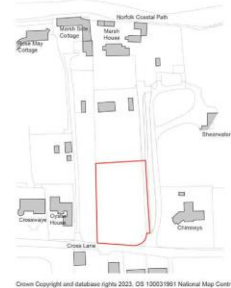
Existing hedge planting.

Proposed parking/turning area and patio area.

Proposed mown lawn areas.

Proposed green roofs and areas of planting.

RPA (Root protection area) refer to tree report.



DATE: 15/08/2024

PROJECT: 24/00280/RM

CLIENT: King's Lynn & West Norfolk Borough Council

DESIGNER: Atelier Associates

DATE: 15/08/2024

PROJECT: 24/00280/RM

CLIENT: King's Lynn & West Norfolk Borough Council

DESIGNER: Atelier Associates

DATE: 15/08/2024

PROJECT: 24/00280/RM

CLIENT: King's Lynn & West Norfolk Borough Council

DESIGNER: Atelier Associates





- MATERIALS KEY:**
1. Red patina;
 2. Flint wall;
 3. Flint with brick soffits;
 4. Red brick;
 5. Timber Cladding.

DISCLAIMER

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DATE OF DRAWING

2024/01/15

DESIGNER

Atelier Associates Architecture + design

PROJECT

CRENS LAKE HOUSE

LOCATION

WENLOCK ST, WEST NORFOLK

SCALE

1:100

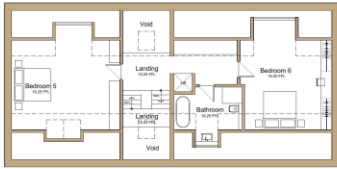
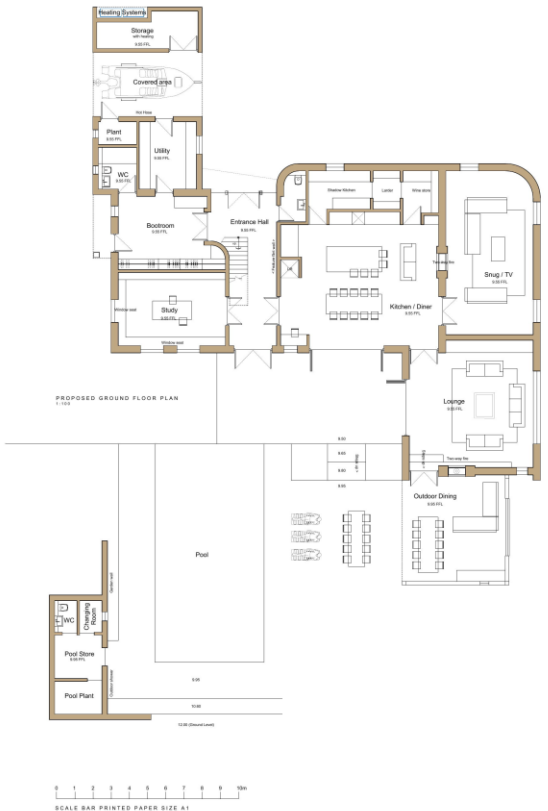
PROJECT NO.

COGO1.01.04

DATE

2024/01/15





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DATE:
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PROJECT:
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View west from Cross Lane



View southwest from Cross Lane



View south from Cross Lane



View south from Cross Lane



View southeast from Cross Lane



View east from within site



View northeast from within site





View northwest from within site





View southwest from within site



View south from within site



View southeast from within site



Existing view west of site from Cross Lane





Existing view east of site from Cross Lane



Proposed view east from Cross Lane



Existing aerial view from south of site





Existing aerial view from west of site



Proposed aerial view from west of site



Existing aerial view from north of site



Proposed aerial view from north of site



Existing aerial view





Proposed aerial view



24/00504/F





Planning History - 21/00081/F: Refused



SOUTHERN ELEVATIONS SCALE 1:100

EASTERN

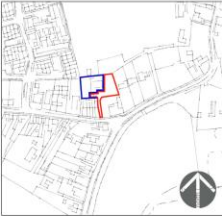
NORTHERN

WESTERN

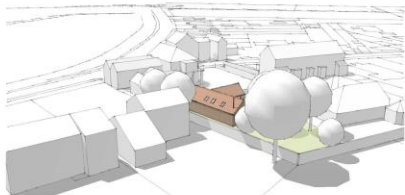
Proposed Materials:
Exterior: Red mix facing brick with creamstone pattern roof panels.
Roofs: Red/orange clay pantiles, multi black flue pipe.
Kilnmaster Goods: Green/black.
Downspout: Grey/black coloured.



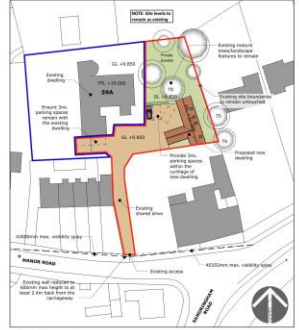
TYPICAL SECTION SCALE 1:500



LOCATION PLAN SCALE 1:2500



AERIAL PERSPECTIVE 1 SCALE NTS



SITE/ROOF PLAN SCALE 1:500



GROUND FLOOR PLAN SCALE 1:500



STREET SCENE/EYE LEVEL SCALE 1:200



AERIAL PERSPECTIVE 2 SCALE NTS



PERSPECTIVE 3 SCALE NTS

void - elevation views omitted
void - existing structure demolished 2.5m from
existing structure, existing structure to
be further 1.8m to clear 18.8m, and 1.5m to clear
void - proposed building more 2.5m westward
and reduced in height to 12m to increase volume
void - void - minor amendments to basement (D&B/C)

Revision Details:

PROJECT:
Proposed New Dwelling
2104 Manor Road
Dorington
Norfolk
NR23 6LH

CLIENT:
Bespoke Norfolk Group

TITLE:
Plans as Proposed

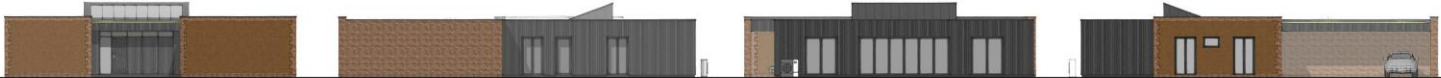
DATE:
07-06-21

VOID ARCHITECTURE
Heath Barr, Norwich Road, Fakenham
Norfolk, NR21 8LZ
tel: 01328 801536
email: info@voidarchitecture.co.uk
web: www.voidarchitecture.co.uk

DRAWING: 1086.02 REV: D A1



Superseded Plan

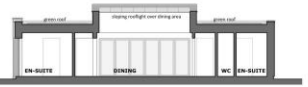


SOUTH ELEVATIONS SCALE 1:100

EAST

NORTH

WEST



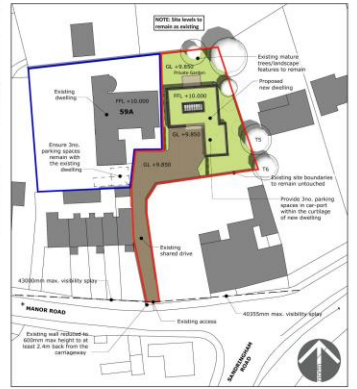
SECTION THROUGH LIGHTWELL SCALE 1:100



LOCATION PLAN SCALE 1:1250



AERIAL PERSPECTIVE 1 SCALE NTS

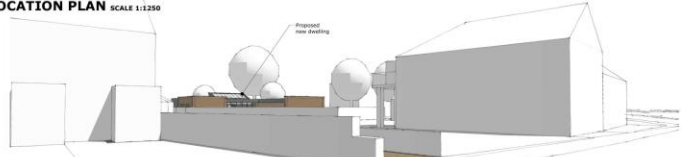


SITE/ROOF PLAN SCALE 1:500



GROUND FLOOR PLAN SCALE 1:100
GIFA 130sqm plus car-port

- Proposed Materials:**
- Walls: brick/camstone public walls, vertical black-stained timber boarding
 - Roof: green flat roof, standing-seam metal enclosure to sloping glazed rooflight
 - Rainwater Goods: Grey/black
 - Joinery: Grey/black coloured



STREET SCENE/EYE LEVEL SCALE NTS



AERIAL PERSPECTIVE 2 SCALE NTS



PERSPECTIVE 3 SCALE NTS

Rev: Brick used
red brick/camstone with solid

Revision Details:

PROJECT:
Proposed New Dwelling
59A Manor Road
Dersingham
Norfolk
PE31 6LH

CLIENT:
Bespoke Norfolk Group

TITLE:
As Proposed

DATE:
14-06-24

VOID ARCHITECTURE
Heath Barn, Norwich Road, Fakenham
Norfolk, NR21 2LZ

tel: 01328 801536
email: info@voidarchitecture.co.uk
web: www.voidarchitecture.co.uk

DRAWING 1086.04 REV: B SIZE: A1



VOID ARCHITECTURE 1086.05 17-01-24

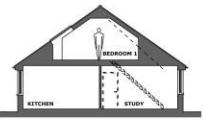


SOUTH ELEVATIONS SCALE 1:100

EAST

NORTH

WEST



TYPICAL SECTION SCALE 1:100

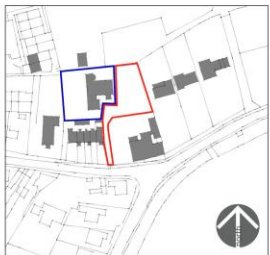


FIRST FLOOR PLAN SCALE 1:100



GROUND FLOOR PLAN SCALE 1:100
total GIFA 130sqm

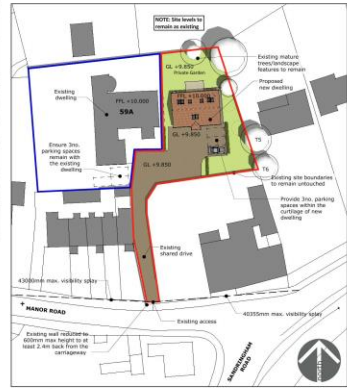
- Proposed Materials:**
- Walls: Norfolk red brick with carronstone panels
 - Roof: red/orange interlocking clay pan-tiles, black metal flue pipe
 - Rainwater Goods: Black UPVC
 - Joinery: Grey coloured



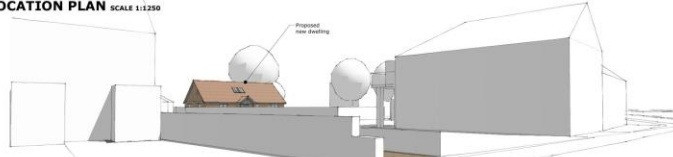
LOCATION PLAN SCALE 1:1250



AERIAL PERSPECTIVE 1 SCALE NTS



SITE/ROOF PLAN SCALE 1:500



STREET SCENE/EYE LEVEL SCALE NTS



AERIAL PERSPECTIVE 2 SCALE NTS



DRIVEWAY APPROACH SCALE NTS

Revision Details:

PROJECT:
Proposed New Dwelling
59A Manor Road
Dersingham
Norfolk
PE31 6LH

CLIENT:
Bespoke Norfolk Group

TITLE:
Plans as Proposed

DATE:
17-01-24

VOID Architecture
Heath Barn, Norwich Road, Fakenham
Norfolk, NR21 8LZ

tel: 01328 801536
email: info@voidarchitecture.co.uk
web: www.voidarchitecture.co.uk

DRAWING 1086.05 REV. - SIZE A1



View northwards towards site from access

16/04/2024





View eastwards from site access

16/04/2024



16/04/2024

View southwards from driveway to access onto Manor Road







View eastwards from car park towards Neighbour No.61a

16/04/2024



View eastwards from car park towards Neighbour No.61a

16/04/2024



Northern elevations of the Tea Rooms / flat and No.61a



16/04/2024



16/04/2024

Northwards towards site from donor dwelling driveway





16/04/2024

Southwards within the site towards Tea Rooms and No.61a







16/04/2024





16/04/2024















Rear of donor dwelling

16/04/2024



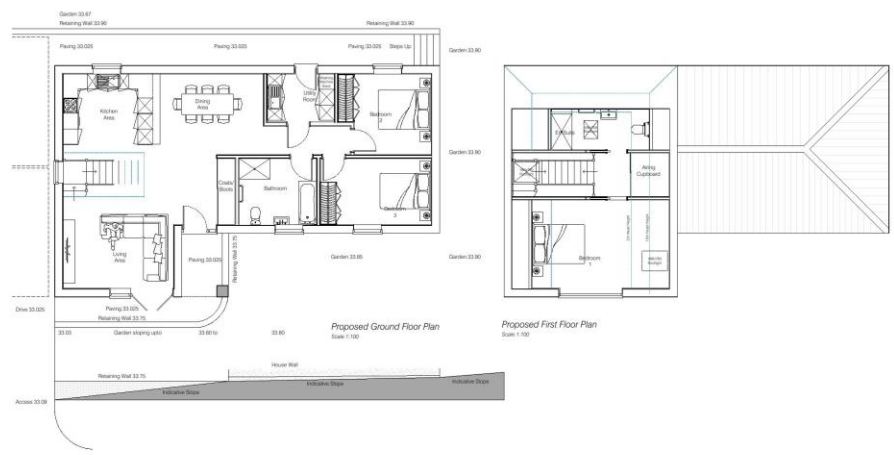
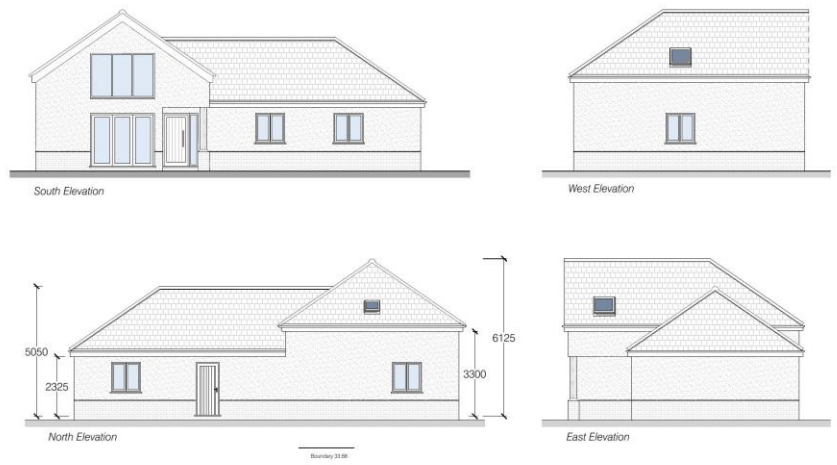
Eastern elevation of donor dwelling within driveway

16/04/2024

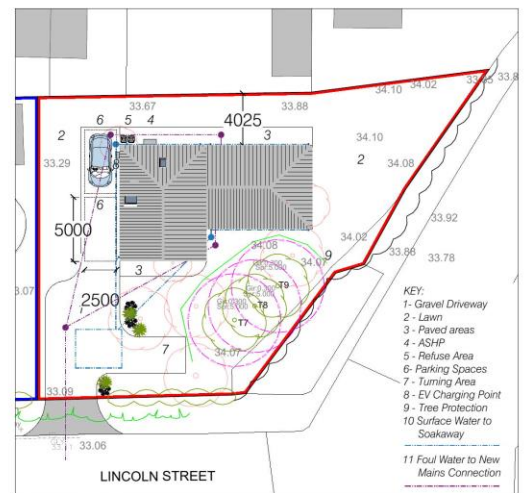


23/02276/F

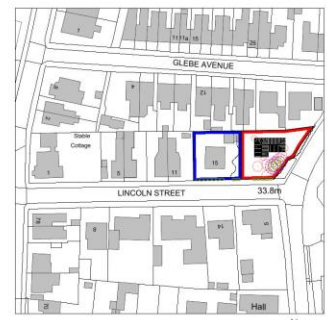




Rev.	Date	Description	Drawn
A	20/01/2024	Site Plan Updated to Suit Comments	EA
B	08/03/2024	Site Plan Updated to Suit Comments	EA
C	17/03/2024	Updated to Suit Comments	J
D	20/06/2024	Reduction in height and footprint	J
E	01/08/24	Reduction in height and paving	iss



Proposed Site Plan
Scale 1:200



Location Plan
Scale 1:1250



Unit 12, Crown Orchards, Thornham Road
Horse-and-the-Sea, Norfolk, PE36 6LS
Tel: 01263 738239 Web: www.strataarchitecture.com

Project:
Land to the East of Tower House
15 Lincoln Street
Hunstanton
PE36 6AS

Title:
Proposed New Dwelling
Proposed Floor Plans, Elevations
Section, Site and Location Plan

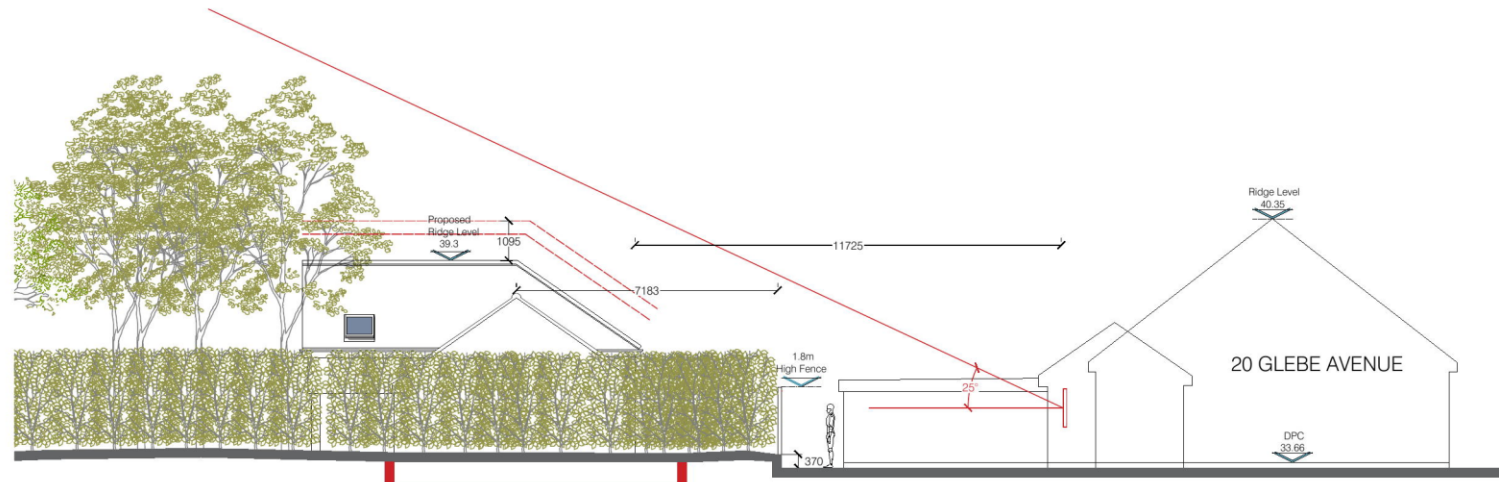
Scale(s): As Shown @A2 Date: 20/06/24

Drawn: J Checked: JL

Drawing issued for: Planning

Drawg No: 674-01 Rev: E

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Grey line is at boundary adjacent highway - 4025
 Red line is reduced ground on site with gradient between.

Proposed Street Scene (East) showing separation of No. 20 Glebe Avenue
 Scale 1:100 on A4 paper



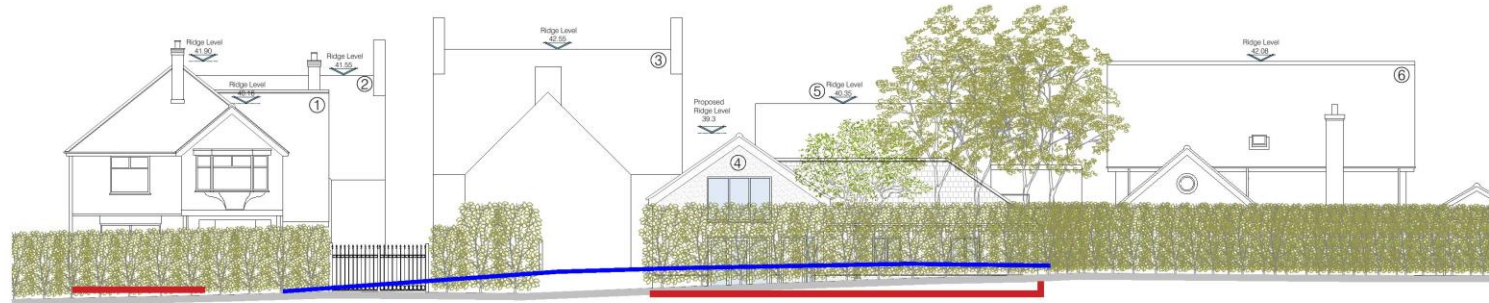
Unit 12, Drove Orchards, Thornham Road,
 Horningsea, Norfolk, PE36 6LS
 Tel: 01328 738239 Web: www.strataarchitecture.com

Project:
 Land to the East of Tower House
 15 Lincoln Street
 Hunstanton
 PE36 6AS

Title:
 Proposed New Dwelling
 Proposed Street Scene East

Details	
Scale(s):	1:100 @A3
Date:	14.08.24
Drawn:	j
Checked:	JL
Drawn issued for:	Planning
Draw No:	674-300
Rev:	B

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Proposed Street Scene (South)
Scale 1:100

- KEY**
- 1 - 15 Lincoln Street
 - 2 - 14 Glebe Avenue
 - 3 - 16 & 18 Glebe Avenue
 - 4 - Proposed Dwelling
 - 5 - 20 Glebe Avenue
 - 6 - 22 Glebe Avenue
 - - DPC Level
 - - Section through site



Proposed Street Scene (East) showing separation of No. 20 Glebe Avenue
Scale 1:100

STRATA ARCHITECTS

Unit 12, Dover Gardens, Thurston Road,
Hunstanton, The Isle of Wight, PO26 2LS
Tel: 01329 792018 Web: www.strataarchitects.com

Project:
Land to the East of Tower House
15 Lincoln Street
Hunstanton
PO36 6AS

Site:
Proposed New Dwelling
Proposed Street Scene East & South

Scale: 1:100 @A2 **Date:**

Drawn: EA **Checked:** JL

Drawing issued for: Planning

Dwg No: 674-400 **Rev:** A

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View north of existing dwelling/access with application
side to the east





Lincoln Street street scene looking west



Southern and eastern boundary of site.



View south along A149 towards site.



Internal view of site looking east.



Internal view of site looking north/east.





Internal view of site looking north.





Internal view of site looking north/west.





Internal view of site looking west.





View south towards application site from neighbouring plot.





View south towards application site from neighbouring plot.





Aerial view from Google Maps for context.



24/00892/F

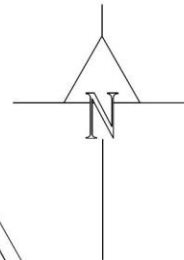




Location Map 1:1250

1042/22 - NL





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 6. Only use figured dimensions.
 7. Any discrepancies to be brought to the Designers immediate attention.
 0 50mm
 SCALE REFERENCE - 50mm LINE

SITE PLAN/BLOCK PLAN

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

REV	DESCRIPTION	DATE

	6 Hawthorn Close Wattlington King's Lynn Norfolk PE33 0HD Tel: 01553 811564 Email: mattgosling@aol.com
--	--

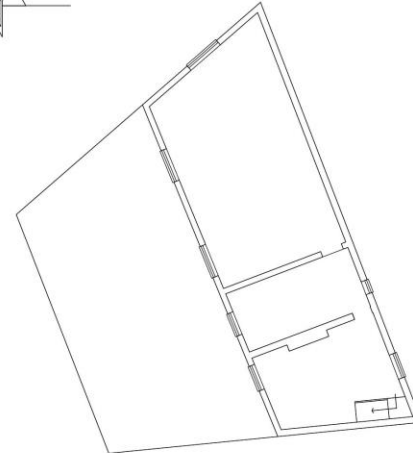
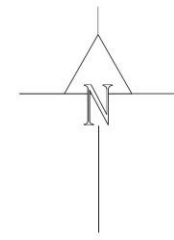
Project Title
**PROPOSED CONVERSION
 ROBERT ST/WILLIAM ST.
 KING'S LYNN
 NORFOLK**

Drawing Title
SITE PLAN/BLOCK PLAN

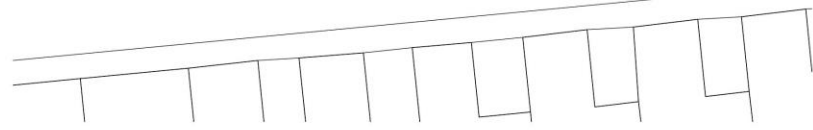
Scale	Date	Drawn
1:250	Apr 23	MG

Drawing No: **1042/22 - 14** Rev:

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First Floor Layout

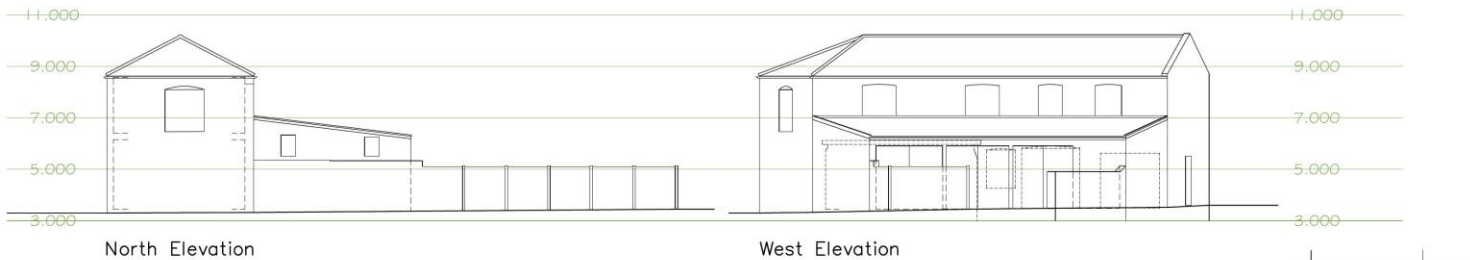
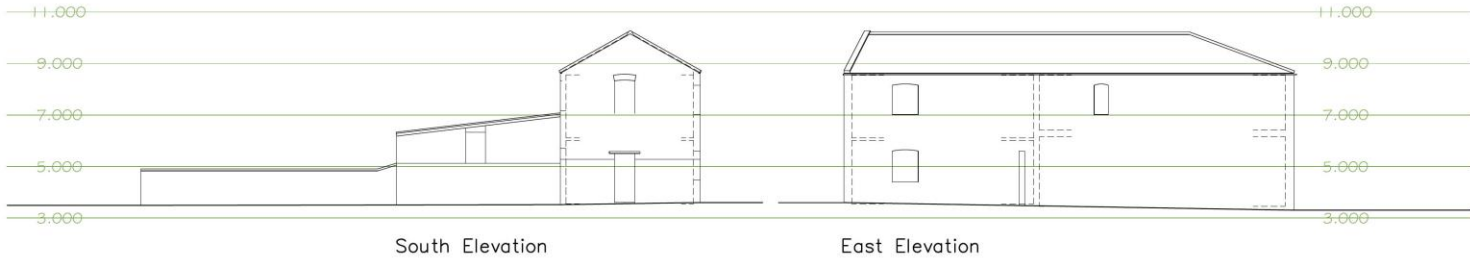


Ground Floor/Site Layout

REV	DESCRIPTION	DATE

	6 Hawthorn Close Waddington King's Lynn Norfolk PE33 9HD Tel: 01553 811564 Email: mattgosing@aol.com		
	Project Title PROPOSED CONVERSION ROBERT ST WILLIAM STREET KING'S LYNN NORFOLK		
	Drawing Title EXISTING FLOOR PLANS		
	Scale	Date	Drawn
	1:100	Apr 23	MG
Drawing No:	1042/22 - 10	Rev:	

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REV	DESCRIPTION	DATE

M DESIGN C
 6 Hawthorn Close
 Walsingham
 King's Lynn
 Norfolk
 PE33 9HD
 Tel: 01553 811564
 Email: mattgosing@aol.com

Project Title
**PROPOSED CONVERSION
 ROBERT ST WILLIAM STREET
 KING'S LYNN
 NORFOLK**

Drawing Title
EXISTING ELEVATIONS

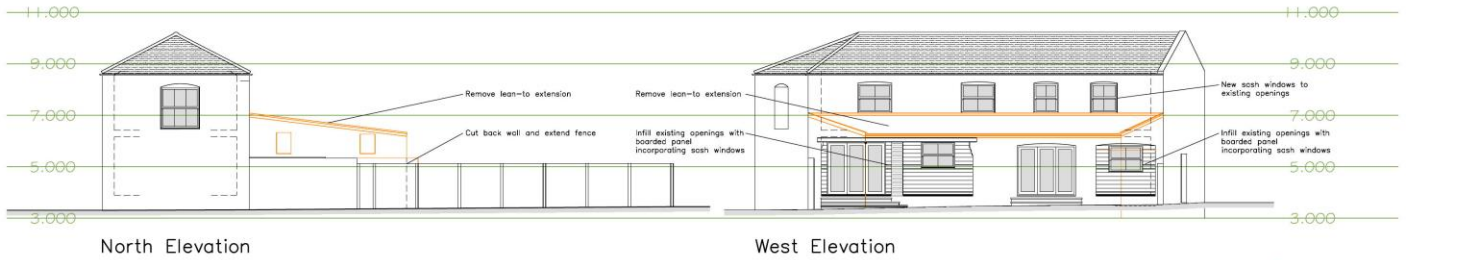
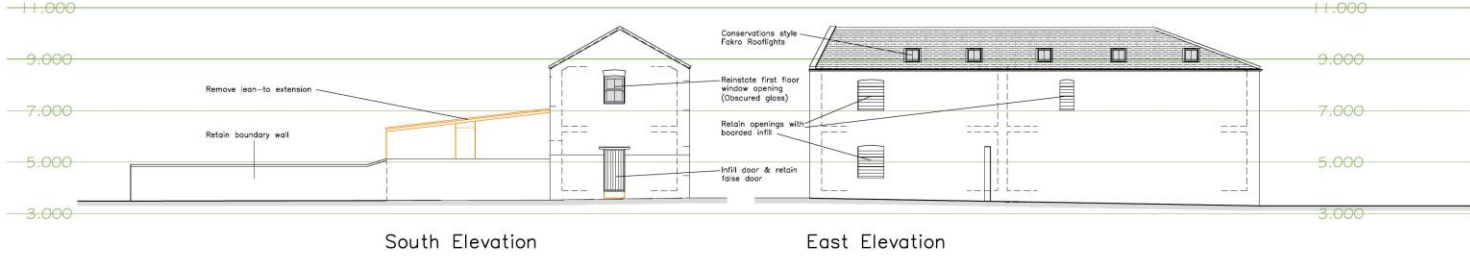
Scale	Date	Drawn
1:100	Apr 23	MG

Drawing No: **1042/22 - 11** Rev:

The Planning Committee will consider the following matters:

1. The proposed development is in accordance with the relevant provisions of the Local Development Framework (LDF) and the relevant policies of the Local Development Framework (LDF).
2. The proposed development is in accordance with the relevant provisions of the Local Development Framework (LDF) and the relevant policies of the Local Development Framework (LDF).
3. The proposed development is in accordance with the relevant provisions of the Local Development Framework (LDF) and the relevant policies of the Local Development Framework (LDF).
4. The proposed development is in accordance with the relevant provisions of the Local Development Framework (LDF) and the relevant policies of the Local Development Framework (LDF).
5. The proposed development is in accordance with the relevant provisions of the Local Development Framework (LDF) and the relevant policies of the Local Development Framework (LDF).
6. The proposed development is in accordance with the relevant provisions of the Local Development Framework (LDF) and the relevant policies of the Local Development Framework (LDF).
7. The proposed development is in accordance with the relevant provisions of the Local Development Framework (LDF) and the relevant policies of the Local Development Framework (LDF).
8. The proposed development is in accordance with the relevant provisions of the Local Development Framework (LDF) and the relevant policies of the Local Development Framework (LDF).
9. The proposed development is in accordance with the relevant provisions of the Local Development Framework (LDF) and the relevant policies of the Local Development Framework (LDF).
10. The proposed development is in accordance with the relevant provisions of the Local Development Framework (LDF) and the relevant policies of the Local Development Framework (LDF).

SCALE REFERENCE = 50mm LINE



PRELIMINARY - SUBJECT TO PLANNING APPROVAL

REV	DESCRIPTION	DATE

M DESIGN

6 Hawthorn Close
 King's Lynn
 Norfolk
 PE33 9HD
 Tel: 01553 811564
 Email: mattgosing@aol.com

Project Title
**PROPOSED CONVERSION
 ROBERT STILLIAM STREET
 KING'S LYNN
 NORFOLK**

Drawing Title
PROPOSED ELEVATIONS

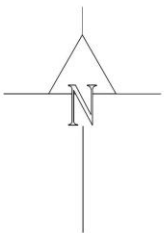
Scale	Date	Drawn
1:100	Apr 23	MG

Drawing No: **1042/22 - 13** Rev:

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Ground Floor/Site Layout



First Floor Layout

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

REV	DESCRIPTION	DATE

M DESIGN
 6 Hawthorn Close
 King's Lynn
 Norfolk
 PE33 9HD
 Tel: 01553 811564
 Email: mattgosing@aol.com

Project Title
**PROPOSED CONVERSION
 ROBERT ST WILLIAM STREET
 KING'S LYNN
 NORFOLK**

Drawing Title
PROPOSED FLOOR PLANS/SITE LAYOUT

Scale	Date	Drawn
1:100	Apr 23	MG

Drawing No: **1042/22 - 12** Rev:





Application site – south-west (front)
elevation







Southern elevation from William Street





View westwards from William Street showing Southern elevation





Rear gardens to properties backing onto Robert Street





Rear gardens to properties backing onto Robert Street





Relationship with properties to rear
on Edward Street





Rear (eastern) elevation





View s-westwards along Robert Street showing north elevation





Wider context view of site frontage



24/01188/F
and
24/01189/LB



24/01188/F
24/01189/LB

Slide
No. 132

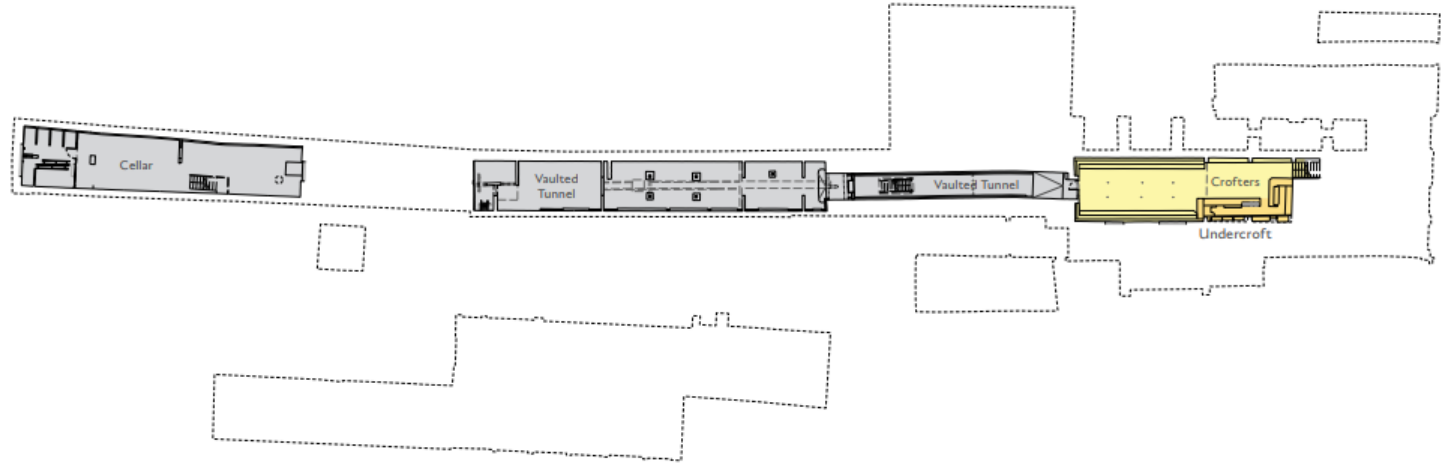


Undercroft floor plan existing (G-1)

Existing Undercroft Floor Plan

AREA KEY

- Performance
- BOH Circulation
- FOH
- FOH Circulation
- FOH WC
- FOH Servary
- Catering Support
- Creative Hub
- Gallery
- Site Operations / Adminh
- Plant & Misc. Stores



24/01188/F
24/01189/LB

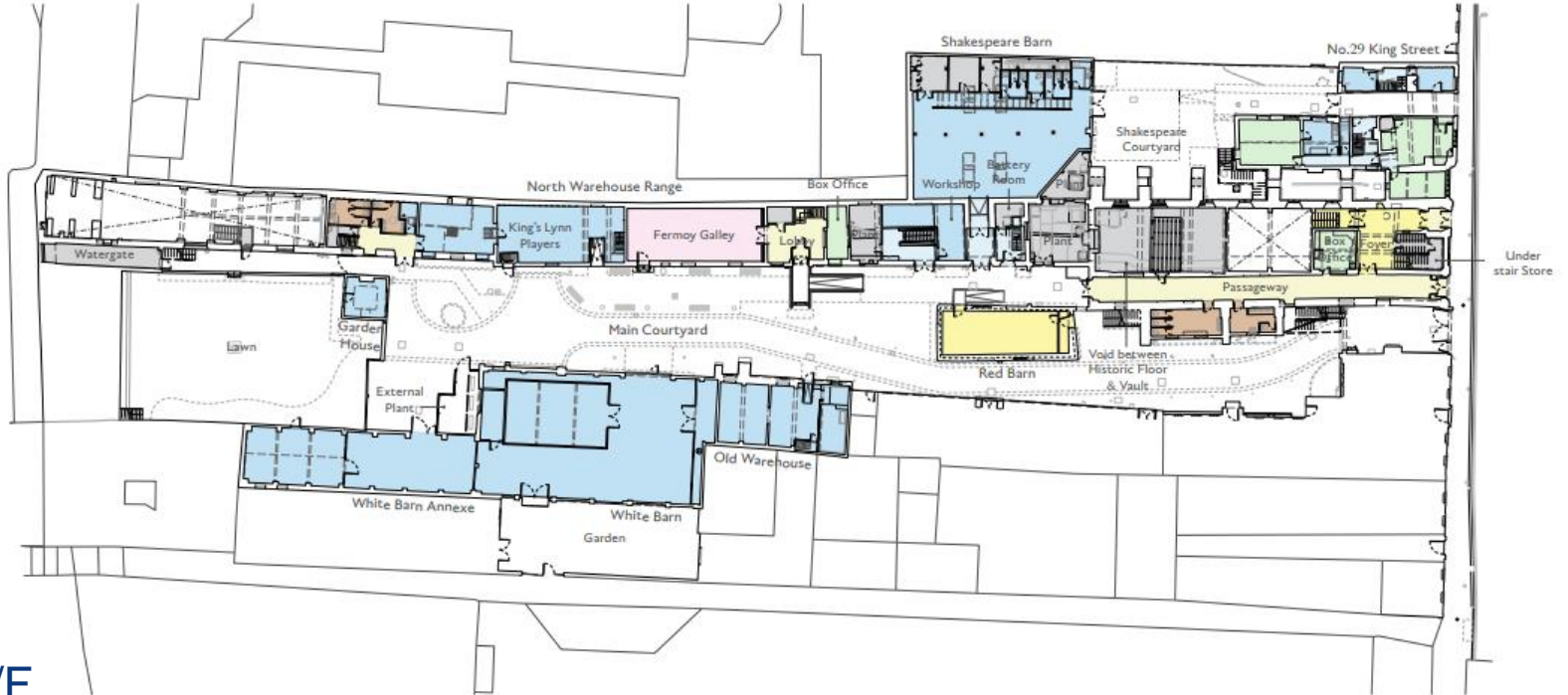


Existing Ground Floor Plan

Ground floor plan existing (G+0)

AREA KEY

- Performance
- BOH Circulation
- FOH
- FOH Circulation
- FOH WC
- FOH Servery
- Catering Support
- Creative Hub
- Gallery
- Site Operations / Admin
- Plant & Mjic. Stores



24/01188/F
24/01189/LB

Existing First Floor Plan

First floor plan existing (G+1)

AREA KEY

- Performance
- BOH Circulation
- FDH
- FDH Circulation
- FDH WC
- FDH Servary
- Catering Support
- Creative Hub
- Gallery
- Site Operations / Adm'n
- Plant & Mjic. Stores

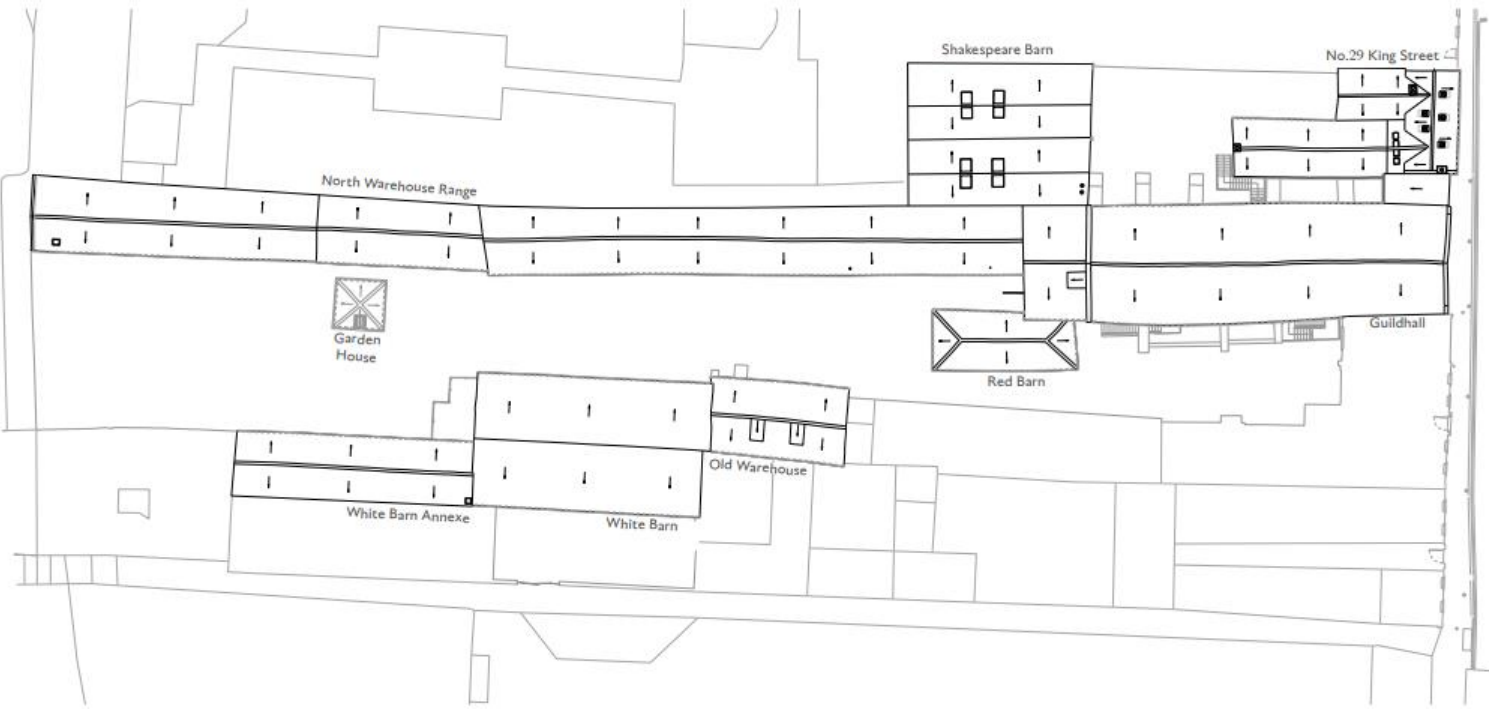


24/01188/F
24/01189/LB



Roof plan existing

- AREA KEY
- Performance
 - BOH Circulation
 - FOH
 - FOH Circulation
 - FOH WC
 - FOH Servery
 - Catering Support
 - Creative Hub
 - Gallery
 - Site Operations / Admin
 - Plant & Misc. Stores





01 - Existing Guildhall, Red Barn & North Range south elevation (facing onto Main Courtyard)



02 - Existing North Range south elevation (facing onto Main Courtyard)



03 - Existing Guildhall & Red Barn west elevation (facing onto Main Courtyard)



04 - Existing Shakespeare Barn east elevation (facing onto Shakespeare Courtyard)



05 - Existing Guildhall & No.29 east elevation (facing onto King Street)

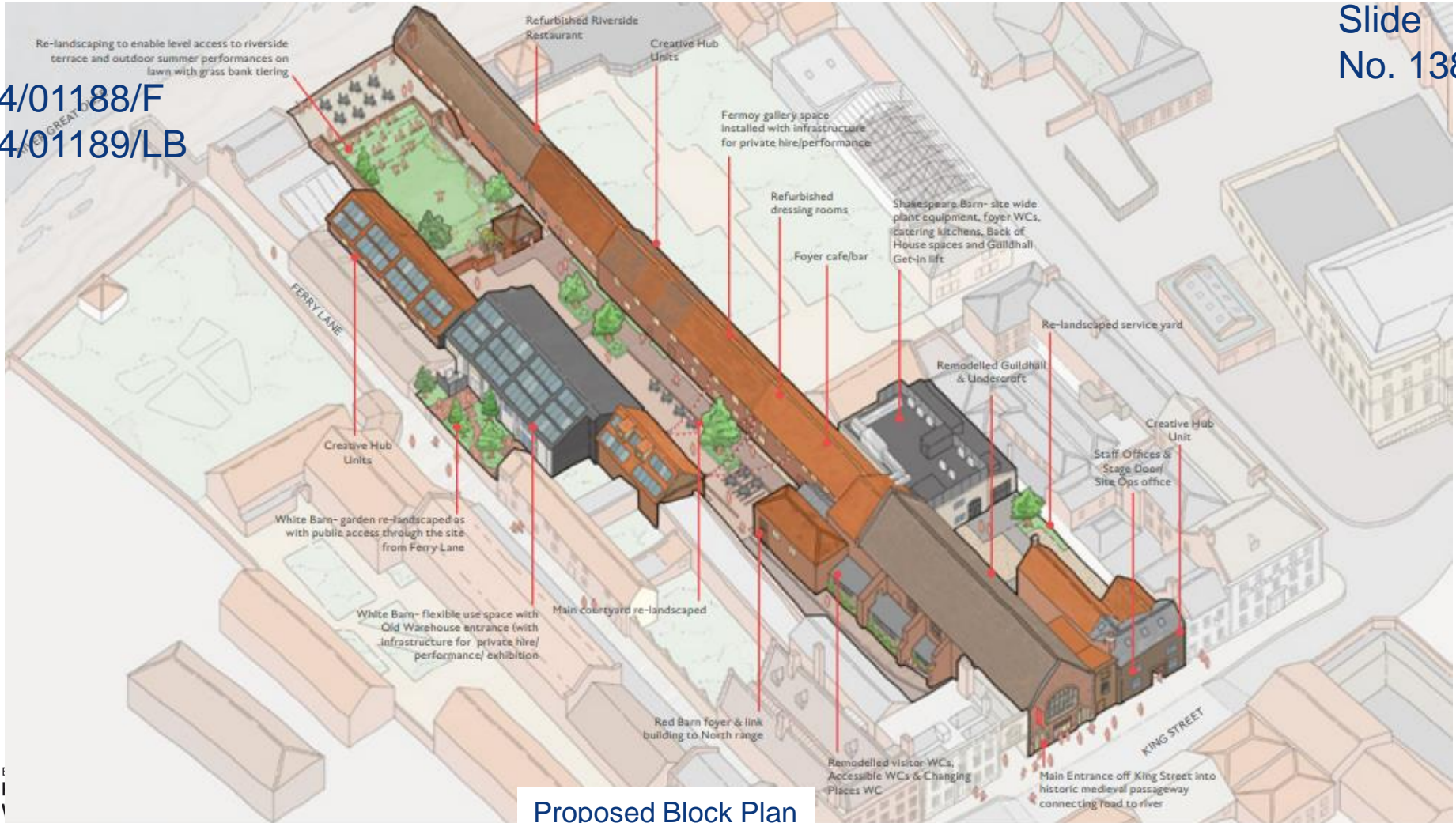


06 - Existing Old Warehouse, White Barn & White Barn Annexe north elevation (facing onto Main Courtyard)

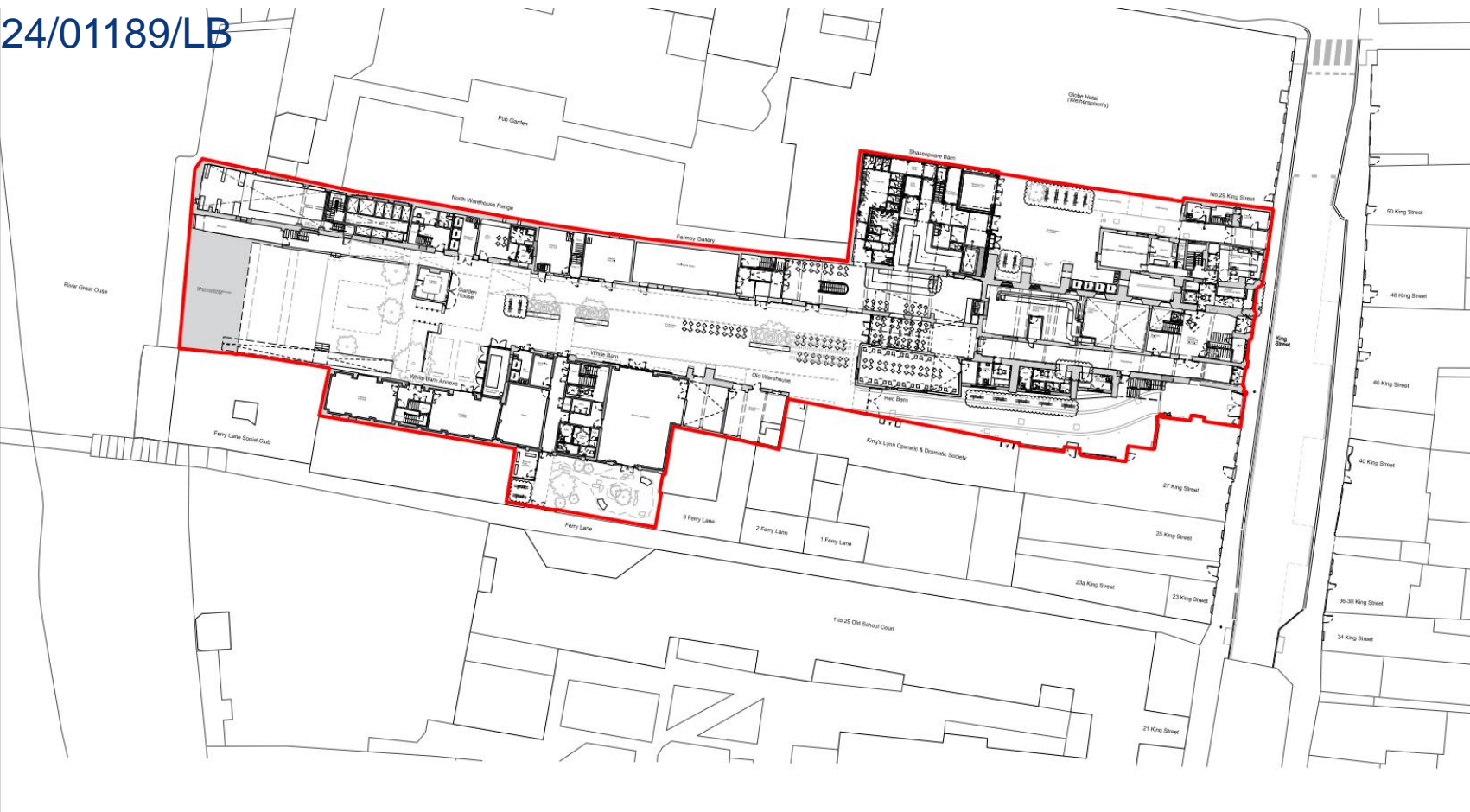


Plan key to elevations

24/01188/F
24/01189/LB



Proposed Block Plan



REV	DATE	DESCRIPTION
P04	03/26/24	UPDATED PLANNING ISSUE
P03	06/26/24	UPDATED PLANNING ISSUE
P02	14/06/24	ISSUED FOR PLANNING
P01	13/05/24	ISSUED FOR PLANNING PRE APP

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HaworthTompkins, 110 Colleen Lane, London EC1Y 6TL
+44 (0)20 7299 3225, www.haworthtompkins.com

JOB: 2302; ST GEORGE'S GUILDHALL
DRG: PROPOSED SITE PLAN

DRG No: STGG-HTL-ZZ-00-DR-A-00-01000-P REV: P04
SCALE: 1:250@A1 DATE: 25.04.24
DRAWN BY: SR INSPECTED BY: ML
DRAWING STATUS: **PLANNING**

AREA KEY

- Performance
- BOH Circulation
- FOH
- FOH Circulation
- FOH WC
- FOH Servery
- Catering Support
- Creative Hub
- Gallery
- Site Operations / Admin
- Plant & Misc. Stores



Proposed Ground Floor Plan

- | | |
|---|---------------------------------------|
| 1. Heritage Experience Entrance & Orientation | 17. Staff Lockers |
| 2. Reception Office | 18. Kitchen |
| 3. No.29 Link | 19. Dry Store |
| 4. Site Porter & Operations Manager Office | 20. Cold Store |
| 5. Creative Hub Unit | 21. Drinks Store |
| 6. Kitchen | 22. Fermoy Gallery |
| 7. Meeting Room | 23. Creative Hub Break Out & Teapoint |
| 8. Passageway | 24. Restaurant Bin Store |
| 9. Stage Trap | 25. Restaurant Office |
| 10. Void between Historic Floor & Vault | 26. Entry Foyer & Shop |
| 11. WCs | 27. Flexible Space |
| 12. Foyer | 28. Bin Store |
| 13. Get-in | 29. Gallery Store |
| 14. External Plant (Substation) | 30. Plant |
| 15. Electrical Switchgear | 31. External Plant (Generator) |
| 16. Staff Change | 32. External Plant (ASHPs) |
| | 33. Garden Store |
| | 34. Store |



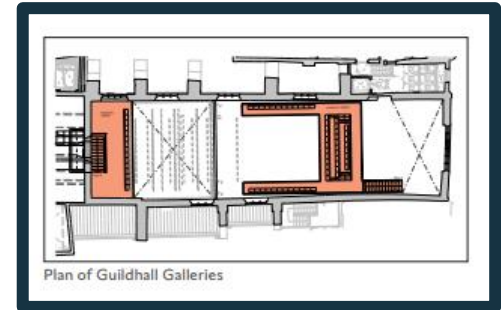
AREA KEY

- Performance
- BOH Circulation
- FOH
- FOH Circulation
- FOH WC
- FOH Servery
- Catering Support
- Creative Hub
- Gallery
- Site Operations / Admin
- Plant & Misc. Stores



Proposed first floor Plan

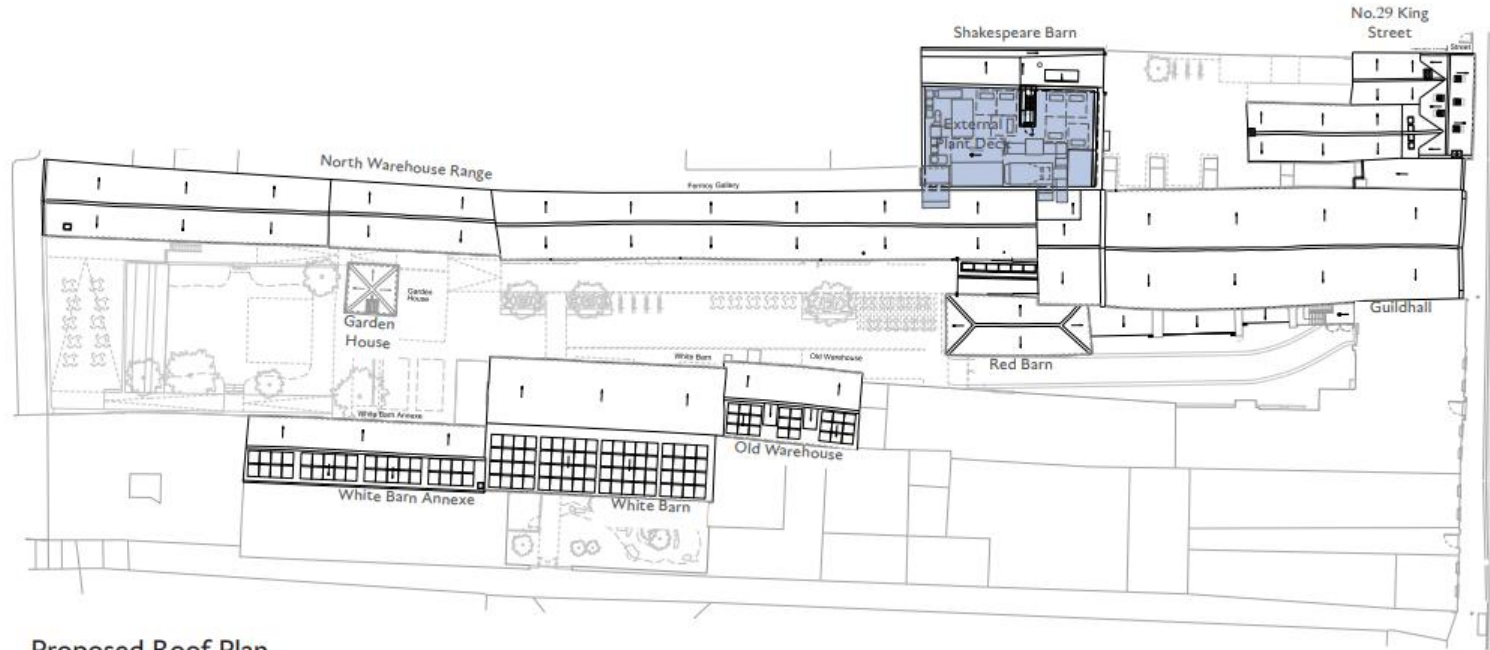
- | | |
|---|--|
| <ol style="list-style-type: none"> 1. Auditorium 2. Control Desk 3. Antechamber 4. No.29 Link 5. Office 6. Break Out Space 7. Creative Hub Unit 8. WCs 9. Stage 10. Screens Passage 11. Backstage 12. Amps & Dimmers Room 13. Heating Plant 14. Comms & IT Racks 15. Flexible Room (Green Room / Group Dressing Room / Rehearsal Room) | <ol style="list-style-type: none"> 16. Equipment, Staging & Rigging Store 17. Wardrobe & Costume Store 18. Dressing Room 19. Plant 20. Dry Store 21. Cold Store 22. Food Prep 23. Kitchen 24. Riverside Restaurant 25. Riverside Terrace 26. Creative Hub Break Out & Kitchen |
|---|--|



Plan of Guildhall Galleries



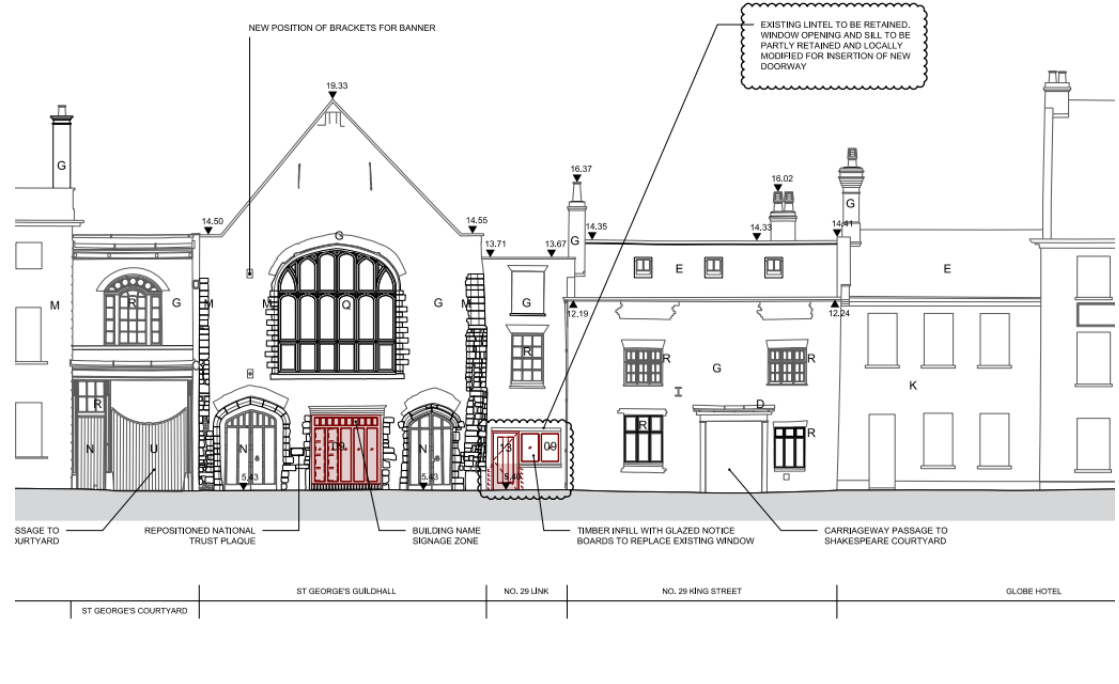
- AREA KEY**
- Performance
 - BOH Circulation
 - FOH
 - FOH Circulation
 - FOH WC
 - FOH Servery
 - Catering Support
 - Creative Hub
 - Gallery
 - Site Operations / Admin
 - Plant & Misc. Stores



Proposed Roof Plan



Existing Guildhall facade to King Street



Proposed East Elevations





27 KING STREET | ST GEORGE'S COURTYARD | ST GEORGE'S GUILDHALL | NO. 29 LNW | NO. 29 KING STREET | GLOBE HOTEL

01 EXISTING KING STREET EAST ELEVATION
1:100@A1



27 KING STREET | ST GEORGE'S COURTYARD | ST GEORGE'S GUILDHALL | NO. 29 LNW | NO. 29 KING STREET | GLOBE HOTEL

02 PROPOSED KING STREET EAST ELEVATION, DAY
1:100@A1



St George's Passage and Red Barn comparison plans

Passageway WCs - comparative elevations

24/01188/F
24/01189/LB



24/01188/F
24/01189/LB

Passageway WCs - external treatment



Facade bay elevation



Sketch view of proposed WC blocks



Site photo of existing WC blocks



Timber cladding



Expressed cover strips at board joints
Zinc standing seam roofing



Planting example





Proposed view of activated main courtyard looking east towards Red Barn and foyer Link with cafe tables and landscaping



Proposed west elevation of foyer Link and Red Barn, with Gullhall beyond



Foyer link massing diagram



Foyer link aerial view

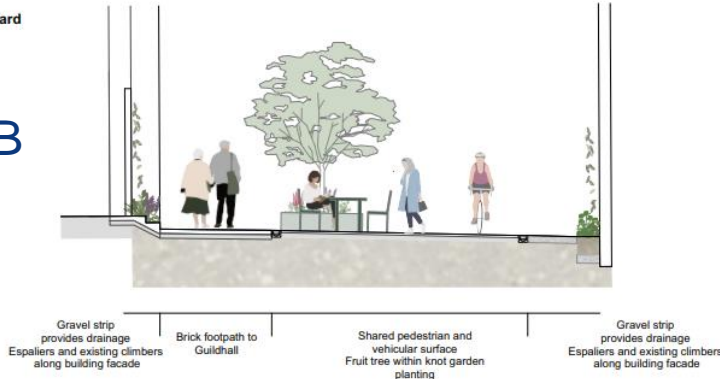


Proposed south elevation of the Red Barn

Cross Section AA - Maltings Yard

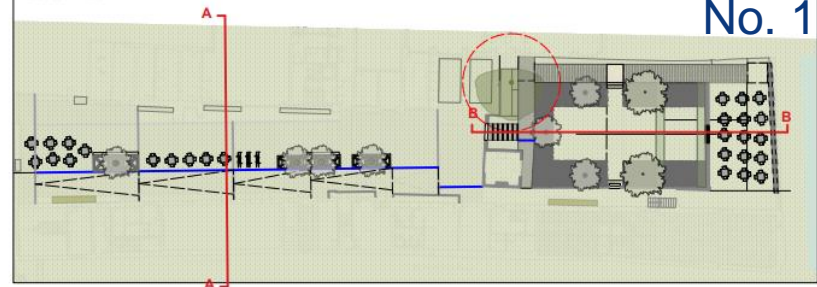
Scale 1:100

24/01188/F
24/01189/LB



Key Plan

Scale 1:500



Section BB - Flowery Mead

Scale 1:100



New balustrade
to sit 1.1m above new terrace
level to be detailed at next stage

Arbour connecting the
Maltings Yard to the Flowery
Mead

Gentle mounding to brick Flowery Mead Path
Flowery Mead with meadow fringe a
flowering lawn, fruit trees and
existing yew tree

Terraced turf seats & existing
brickwork wall forms seat

River Terrace

River Wall

© JCLA
Do not scale from this drawing. Any discrepancies or omissions should be
brought to the attention of the authors. Dimensions are to be verified on
site prior to construction.
All existing site, tree and building information has been compiled from
different sources.
Refer to current revisions of all referenced files.

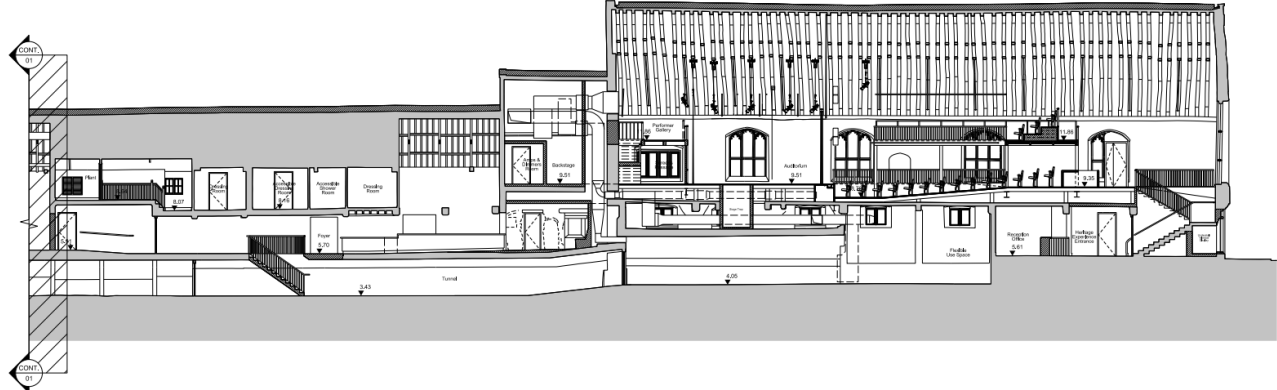
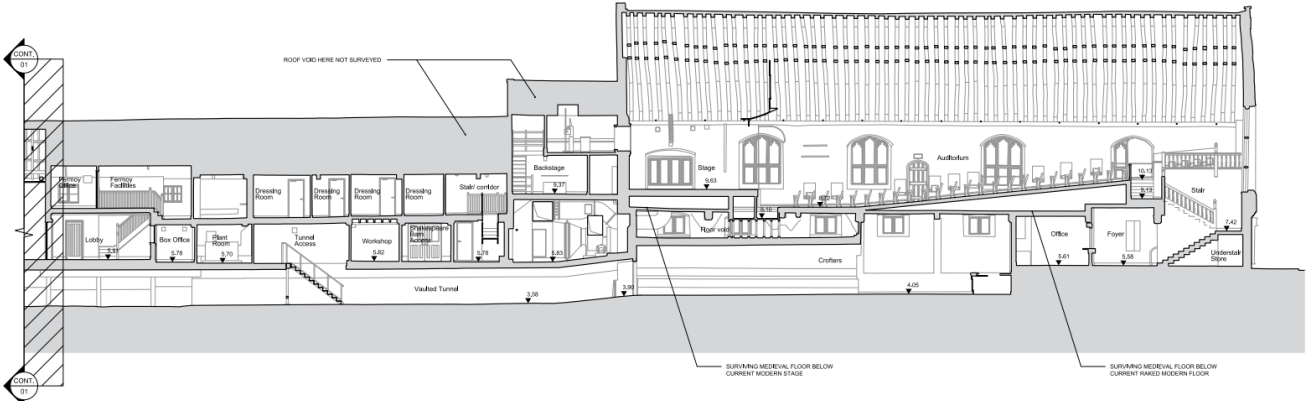
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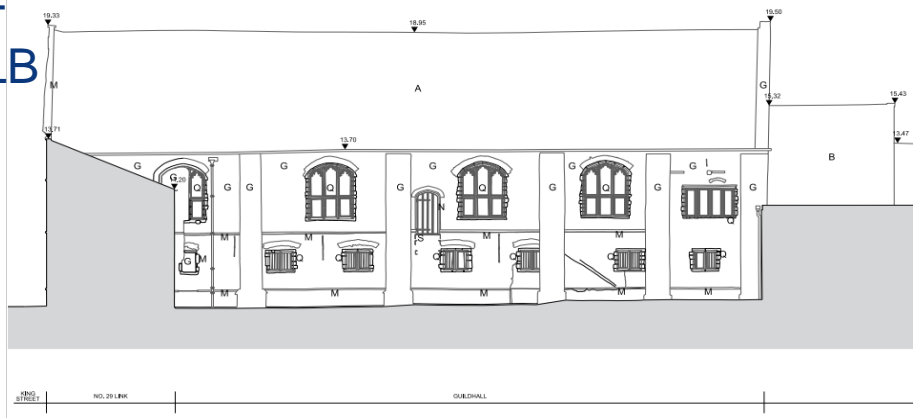
Proposed Landscaping sections

Rev	Date	Description
P01	13.06.2024	Planning Issue

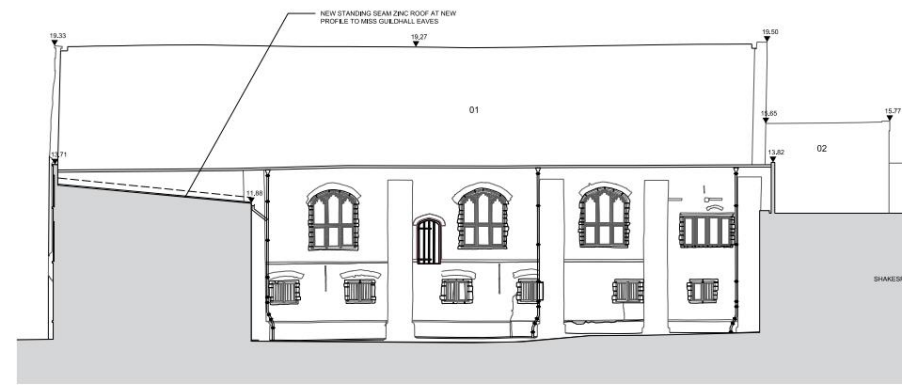
JCLA
Jonathan Cook Landscape Architects Ltd
24 Old Ford
LONDON E6 17 3QA
Tel +44 (0)207 703 3270
www.jcla.co.uk

Client



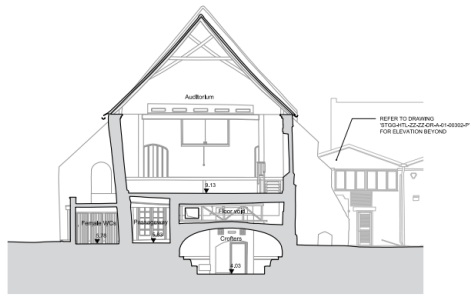


01 EXISTING NORTH ELEVATION ZONE 1
1:100@A1



01 PROPOSED NORTH ELEVATION ZONE 1
1:100@A1





ST GEORGE'S COURT YARD | WC BURL | GILBHALL | SHAKESPEARE COURT YARD

01 EXISTING SECTION GG
1:100@A1



NOLVING STREET | NOLVING | GILBHALL | ST GEORGE'S COURT YARD

02 EXISTING SECTION FF
1:100@A1



ST GEORGE'S COURT YARD | WC BURL | GILBHALL | SHAKESPEARE COURT YARD

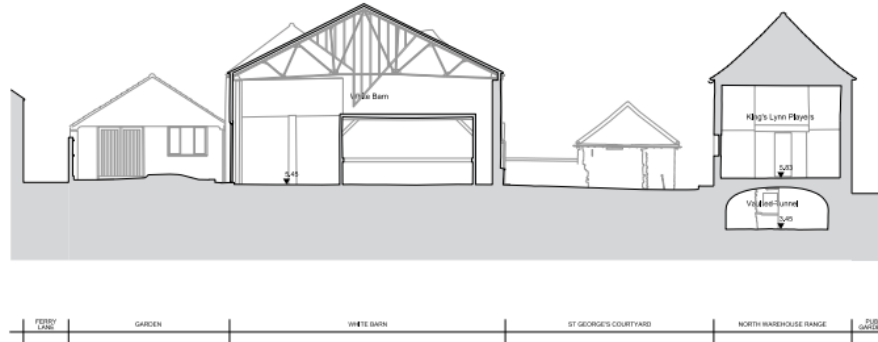
01 PROPOSED SECTION GG
1:100@A1



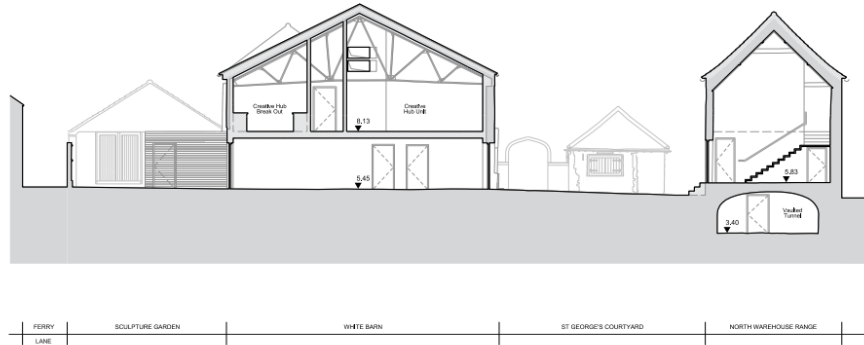
NOLVING STREET | NOLVING | GILBHALL | ST GEORGE'S COURT YARD

02 PROPOSED SECTION FF
1:100@A1





02 EXISTING SECTION LL
1:100@A1



02 PROPOSED SECTION LL
1:100@A1





01 EXISTING SHAKESPEARE BARN EAST ELEVATION
1:100@A1



01 PROPOSED SHAKESPEARE BARN EAST ELEVATION
1:100@A1



24/01188/F
24/01189/LB

Slide
No. 154



St George's Guildhall, as viewed from King Street



St George's Courtyard, towards position of proposed Foyer





24/01188/F
24/01189/LB

Slide
No. 157



24/01188/F
24/01189/LB

Slide
No. 158



White Barn Annexe



24/01188/F
24/01189/LB

Slide
No. 159



24/01188/F
24/01189/LB

Slide
No. 160



Existing garden space

24/01188/F
24/01189/LB

Slide
No. 161



24/01188/F
24/01189/LB

Slide
No. 162



Existing terrace area to be extended and refurbished



Ferry Lane Social Club as viewed from terrace



24/01188/F
24/01189/LB

Slide
No. 164



24/01188/F
24/01189/LB

Slide
No. 165



24/01188/F
24/01189/LB

Slide
No. 166



View of flats at Old School Court from White Barn Garden,
existing gate



24/01188/F
24/01189/LB

Slide
No. 167



Internal view of the White Barn Garden



24/01188/F
24/01189/LB

Slide
No. 168



24/01188/F
24/01189/LB

Slide
No. 169



Boundary between Kings Lynn Players and the Old Warehouse



24/01188/F
24/01189/LB

Slide
No. 170



Red Barn and access route to King Street

24/01188/F
24/01189/LB

Slide
No. 171



Red barn, to have windows inserted



24/01188/F
24/01189/LB

Slide
No. 172



South elevation of Guildhall, toilet block to be replaced & escape stairs removed

24/01188/F
24/01189/LB

Slide
No. 173



East elevation of Red Barn & South West Corner of Guildhall, toilet block to be replaced



24/01188/F
24/01189/LB

Slide
No. 174



Shakespeare Barn east elevation, viewed from access point

24/01188/F
24/01189/LB

Slide
No. 175



Shakespeare Barn east elevation, internal courtyard view

24/01188/F
24/01189/LB

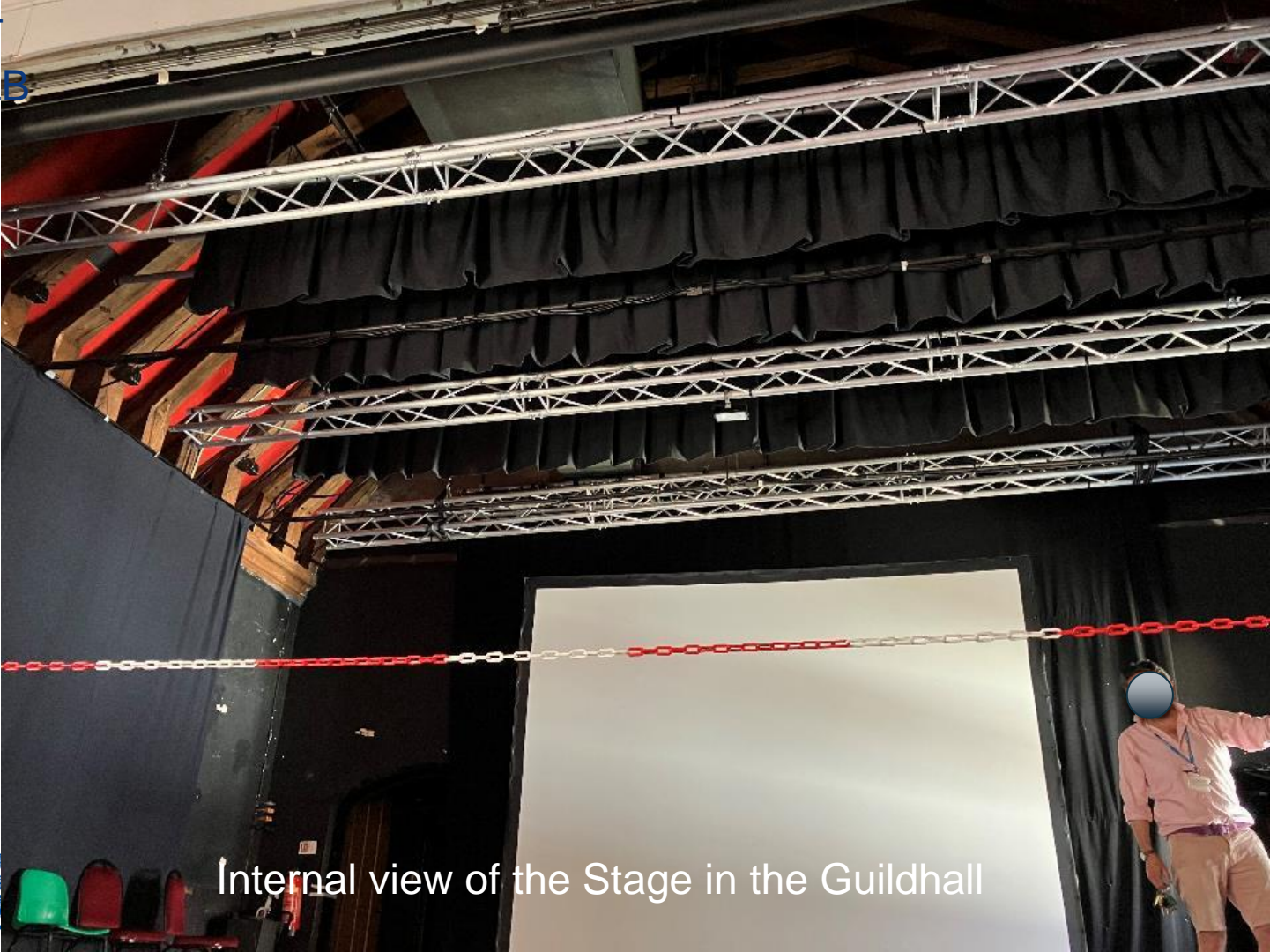
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No. 176



View from Shakespeares Courtyard towards King Street

24/01188/F
24/01189/LB

Slide
No. 177



Internal view of the Stage in the Guildhall





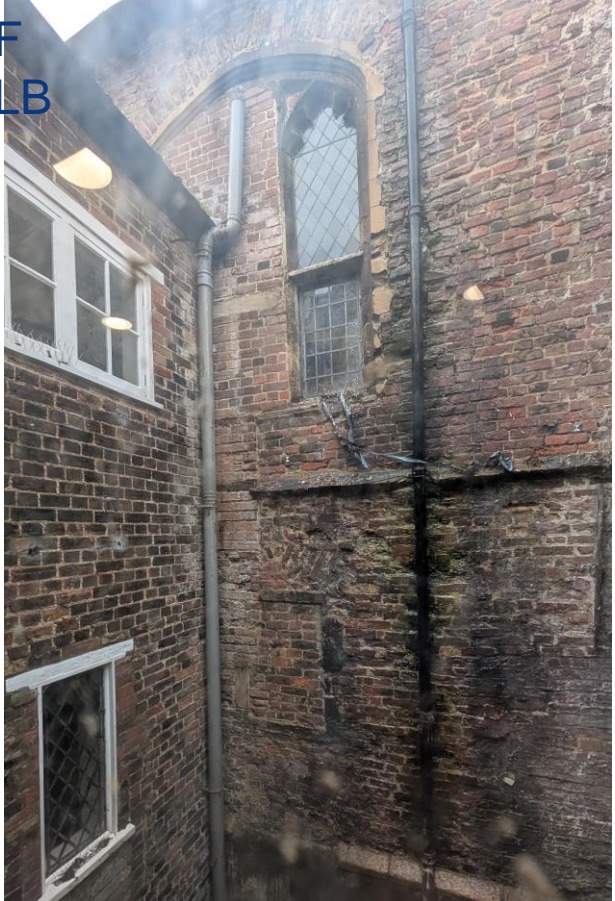
Internal view of the Guildhall

24/01188/F
24/01189/LB

Slide
No. 179



24/01188/F
24/01189/LB



Slide
No. 180

Historic filled in window to be reopened to form doorway to extension



24/01188/F
24/01189/LB

Slide
No. 181



View from inside No.29 King Street towards position of extension link

24/01188/F
24/01189/LB

Slide
No. 182



Buttress and position of link extension



24/01188/F
24/01189/LB

Slide
No. 183



View from top of Ferry Lane

24/01188/F
24/01189/LB

Slide
No. 184



View along Ferry Lane towards social club



24/01188/F
24/01189/LB

Slide
No. 185



Residential properties fronting Ferry Lane

24/01188/F
24/01189/LB

Slide
No. 186



24/01188/F
24/01189/LB

Slide
No. 187



24/01188/F
24/01189/LB

Slide
No. 188



Internal wall between the White Barn and Old
Warehouse



24/01188/F
24/01189/LB

Slide
No. 189



Internal view of the White Barn

24/01188/F
24/01189/LB

Slide
No. 190



Basement level North Warehouse
Range



24/01188/F
24/01189/LB

Slide
No. 191



Underneath the Fermoy Gallery

24/01188/F
24/01189/LB

Slide
No. 192



Internal view of the White Barn Annexe





Internal view of the White Barn Annexe



24/01316/F

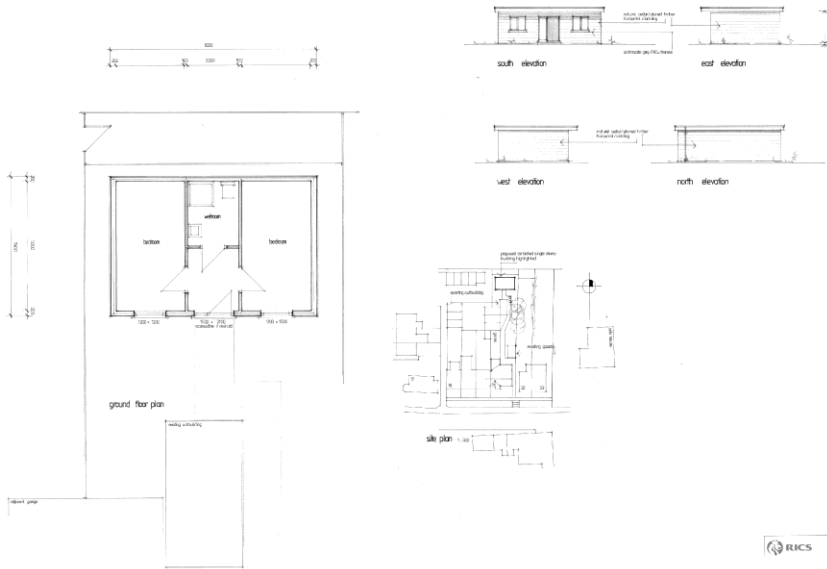


Date Produced: 01-Sep-2023

Scale: 1:1250 @A4



Planning Portal Reference: PP-12428691v1



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Client	12, 13 & 14, South Street, Norwich, Norfolk NR1 1JF
Drawn by	JWB
Checked by	JWB
Date	12/11/17
Scale	1:100

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Front elevation showing levels



Rear behind caravan showing
gate to access (Northwest)





Rear behind caravan showing gate
to access (Northeast)



Rear (to the North)





View to the East





View to the South showing levels





View to the North



END OF PRESENTATION

